

AGENDA

Community Redevelopment Area Advisory Board

Thursday, August 5, 2021 | 3:00 PM – 5:00 PM

600 E. Bay Street, Mirrorton Clubhouse

A. Financial Update & Project Tracker*

B. Housekeeping

C. Action Items

- i. Old Business
 - i. Meeting Minutes June 3, 2021 (Pg. 5-7)
- ii. New Business
 - i. Election of Vice Chair
 - ii. North Downtown Catalyst Plan (Pg. 8-26)
 - iii. 207 E. Main Street Grant Request (Pg. 27-47)

D. Discussion Items

E. Adjourn

* For Information

NEXT REGULAR MEETING:

Thursday, September 2, 2021 3:00 - 5:00 PM

Downtown Fund



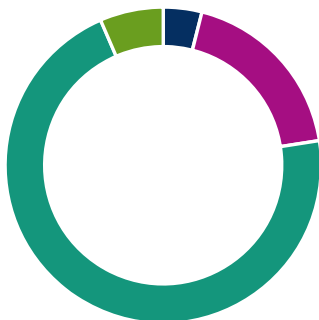
■ Available	\$583,107
■ Expenses	\$1,429,987
■ Encumbrances	\$1,444,487
■ Grant Allocations	\$395,000

Dixieland Fund



■ Available	\$278,140
■ Expenses	\$115,843
■ Encumbrances	\$804,858
■ Grant Allocations	\$200,000

Midtown Fund



■ Available	\$285,010
■ Expenses	\$1,339,487
■ Encumbrances	\$5,126,734
■ Grant Allocations	\$468,187

LAKELAND CRA

COMMUNITY REDEVELOPMENT AGENCY

PROJECT PROGRESSION REPORT



STATUS KEY
RISKS / ROADBLOCKS
POTENTIAL RISKS
ON TRACK

Project	Status	Phase	Funding Allocated	Notes
114 E. Parker	ON TRACK	Vertical Construction	\$1,300,000	Underway & On-Schedule
Lake Parker Art Path	ON TRACK	Closeout	\$820,000	Construction Complete Signage Complete
Five Points Roundabout	ON TRACK	Construction	\$500,000	Funding Increased for FY22 with Construction Scheduled to Commence Summer 2022
Robson Neighborhood Septic to Sewer	ON TRACK	Planning	\$50,000	Pending Commission Approval of Contract
Mirrorton	ON TRACK	Construction	\$970,000	50% Complete
N. Massachusetts Ave Development Agreement	ON TRACK	Agreement in Place		Developer Due Diligence
Providence Rd	ON TRACK	Design	\$1,100,000	DRMP Design
W. 14th Street Sidewalk & Pedestrian Enhancements	ON TRACK	Construction	\$280,000	100% Complete
South Florida Road Diet	ON TRACK	Test Phase	\$350,000	Guidelines complete and posted to website
Central Avenue Pedestrian Improvements	ON TRACK	Preliminary	\$75,000	Design
N. Kentucky Parking Improvements	ON TRACK	Construction Phase	\$250,000	Complete; Under Budget
N. Scott Avenue Sidewalk Improvement	ON TRACK	Preliminary	\$128,612	FY2022
Emma Street Sidewalk Improvement	ON TRACK	Preliminary	\$90,009	FY2023

LAKELAND CRA

COMMUNITY REDEVELOPMENT AGENCY

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Lake Parker Art Path	ON TRACK	Closeout	\$820,000.00	Construction Complete Signage Complete
Five Points Roundabout	ON TRACK	Construction	\$500,000.00	Funding Increased for FY22 with Construction Scheduled to Commence Summer 2022
Robson Neighborhood Septic to Sewer	ON TRACK	Planning	\$50,000.00	Partnership with Housing Division
Mirrorton	ON TRACK	Construction	\$970,000.00	50% Complete
N. Massachusetts Ave Development Agreement	ON TRACK	Agreement in Place		Developer Due Diligence
Providence Rd	ON TRACK	Design	\$1,100,000.00	DRMP Design
W. 14th Street Sidewalk & Pedestrian Enhancements	ON TRACK	Construction	\$280,000.00	99% Complete
South Florida Road Diet	ON TRACK	Test Phase	\$350,000.00	Guidelines complete and posted to website
Central Avenue Pedestrian Improvements	ON TRACK	Preliminary	\$75,000.00	Design
N. Kentucky Parking Improvements	ON TRACK	Construction Phase	\$250,000.00	Complete; Under Budget
N. Scott Avenue Sidewalk Improvement	ON TRACK	Preliminary	\$128,612.00	FY2022
Emma Street Sidewalk Improvement	ON TRACK	Preliminary	\$90,009.27	FY2023

**Community Redevelopment Area Advisory Board
Meeting Minutes
Thursday June 3, 2021
3:00 – 5:00 PM
City Commission Conference Room**

Attendance

Board Members: Pastor Edward Lake (Chair), Brandon Eady (Vice-Chair), Cliff Wiley, Commissioner Chad McLeod, Zeldia Abram, Harry Bryant, Brian Waller, Cory Petcoff, and Brian Goding

Absent: Frank Lansford and Dean Boring

Staff: Alis Drumgo, Terrilyn Bostwick, Iyanna Jones, Damaris Stull, D’Ariel Reed and Heisel Ortiz

Guests: Kevin Schutter (LPD), Sara-Megan Walsh (The Ledger), Jerrod Simpson (Assistant City Attorney) and Jason Lewis (725 E. Orange, LLC)

Packets

- Meeting Minutes dated April 1, 2021
- Financial Update
- Project Progression Report
- 2020 Independent Financial Audit
- Memo- 725 E. Orange, LLC TIF Agreement

Housekeeping

Action Items – Old Business

Financial Update & Project Tracker

Alis Drumgo mentioned that the Lake Beulah Gateway is programmed for fiscal year 2022. The West 14th Street sidewalk project was completed under budget. The Kentucky parking lot associated with Haus 820 lease addendum was completed under budget. Also, the West Lake Parker Shared-Used Path & Art Walk was completed under budget. Construction progress at 114 E. Parker is moving along on budget. The Robinson-Kyles office renovation was completed as well. At this time, four new EDGE Grant requests are under review.

Meeting Minutes Dated April 1, 2021

Brian Goding moved to approve. Cliff Wiley seconded motion which passed unanimously.

Action Items – New Business

2020 Independent Financial Audit

Cory Petcoff moved to approve as presented. Brandon Eady seconded motion which passed unanimously.

725 E. Orange LLC TIF Agreement

725 E. Orange LLC submitted a request for Tax Increment Financing (TIF) for properties the entity owns at 721 & 725 East Orange Street and 0 Lake Avenue. This is the proprietor's second residential project in the area. Jason Lewis also brought the Lemon Street Apartments before the Advisory Board for TIF reimbursement in October 2020. Plans for these properties include new construction and site improvements which are located in the Downtown CRA's Garden District.

This 40,510 square foot site consisted of two pre-existing structures. A 1925 two-story single-family house, has been demolished, and the other, a 1920 single-family house, is in the process of being relocated for restoration purposes.

The Developer is proposing new construction of four, 3-story buildings, consisting of thirty - two (32) apartment units. There will also be forty (40) off-street and eight (8) on-street parking. The current total assessed value of the properties is \$132,141, and improvements are estimated to be \$3.7 million. Based on this information, the renovation/improvement exceeds the required 50% investment above the current assessed value.

CRA Staff recommends a standard 5-year TIF with 50% reimbursement for each year with a projected total of \$109,374.08 over five years.

The Developer is requesting consideration for a modified 5-year TIF with 100% reimbursement for years 1 through 3, and 80% for years 4 and 5. Based upon estimated project costs, TIF payments under the modified TIF are projected to total \$201,248.31 over the five-years.

Jason Lewis expressed gratitude for the Board's consideration of his modified TIF reimbursement. The Developer explained hard cost and soft cost of the project and his efforts in only contracting Lakeland based businesses for his project.

Cory Petcoff recommended 100% TIF reimbursement for years 1 and 2 with year 3 being only 50%. There would be no TIF reimbursement in years 4 and 5.

Cory Petcoff moved to approve his recommendation. Brian Waller seconded the motion which passed unanimously.

Discussion Items

Updates

Damaris Stull provided a virtual "walking" tour of ongoing murals along the Florida Ave corridor. Currently three (3) active projects in the Downtown district and fifteen (15) active in the Dixieland district. Among those participating in the Dixieland Art Infusion, Lakeland Foot and Ankle and Subs N' Such are receiving the Façade and Site Improvement grant, while Reececliff Diner will be receiving both Façade and Site Improvement and Infill Adaptive Reuse grants.

Discussion ensued over owner's mural maintenance concerns and hesitance in receiving murals on their businesses. Staff highlighted the ongoing funding commitment to mural maintenance.

Alis Drumgo praised Damaris Stull for managing eighteen (18) projects in the Dixieland Art Infusion.

Pastor Lake expressed appreciation to the CRA Staff during the years of his service on the Advisory Board and shared that he will not be present at his last meeting in July.

Adjourned at 3:37PM

Next Meeting, Thursday, July 8, 2021 3:00 PM.

Brandon Eady, Vice Chairman

Date

DRAFT



228 S MASSACHUSETTS AVE
LAKELAND, FLORIDA 33601
863.834.6011

Memo

To: CRA Advisory Board
From: Alis Drumgo, CRA Manager
Date: July 8, 2021
Re: **North Downtown Catalyst Plan**

I. Background:

The 2009 update to the Downtown CRA Redevelopment Plan highlighted the need for visioning, planning and detailed description of potential development to guide the placemaking process. In 2018, the Catalyst Plan was released, and the plan provided guidance for development opportunities in three distinct areas of the downtown (Sports & Entertainment, Gateway Corporate Park, and Massachusetts Avenue Corridor). Development interest in the north quadrant of downtown has only been further magnified by the construction of Mirrorton, Catapult and Summit Corporate Headquarters. Along with the new construction, infill renovations at the Joinery and Rec Room have also provided a jolt to the area, and there are two additional planned projects on Massachusetts Avenue at the Gore Building and the old Grey Hound site.

To capitalize on the development opportunities, CRA issued a request for qualifications for development of the Oak Street Parking Lot in 2019. Catalyst Development, a Tampa based firm, was ultimately deemed most qualified. However, negotiations ceased at the height of the pandemic in 2020, and Staff moved forward to develop a small area master plan that would address area challenges and promote compatible uses.

II. The Study:

The boundaries of the study area are Bartow Road to the north, Massachusetts Avenue to the east, Bay Street to the south, and Florida Avenue to the west. The area consists of nine city blocks and is just south of Mass Market and west of Mirrorton. While it is considered downtown, the area is dominated by educational, religious, institutional uses and surface parking lots. The Oak Street Parking Lot is at the center of the development opportunities and is a key to unlocking the potential of the surrounding parcels.

Staff consulted with The Lunz Group to develop the small area strategic plan with a focus on pedestrian enhancements and establishment of connectivity from Bonnet Springs Park, the multi-modal hub, RP Funding Center, Mass Market and the downtown core. Additionally, the plan integrates multifamily residential opportunities to further support the retail hub around Munn Park. The design charette included feedback from the Lakeland Downtown Development Authority (LDDA), adjacent stakeholders and property owners. In total, the plan highlights an additional \$100 million dollars in investment with a potential for adding 1,400 residents and a net of 670 parking spaces. Staff is seeking formal acceptance of the small area plan to support impending issuance of a request for proposals. Adopting the formal plan also supports future submission of federal and/or state funding applications that may occur.

III. Board Consideration:

At the Board's discretion to formally accept the North Downtown Catalyst Plan as presented by Staff.

Attachments:

- North Downtown Catalyst Plan

LIC: AAC001580

NORTH DOWNTOWN LAKELAND CATALYST PLAN

PREPARED BY
THE
LUNZ
GROUP



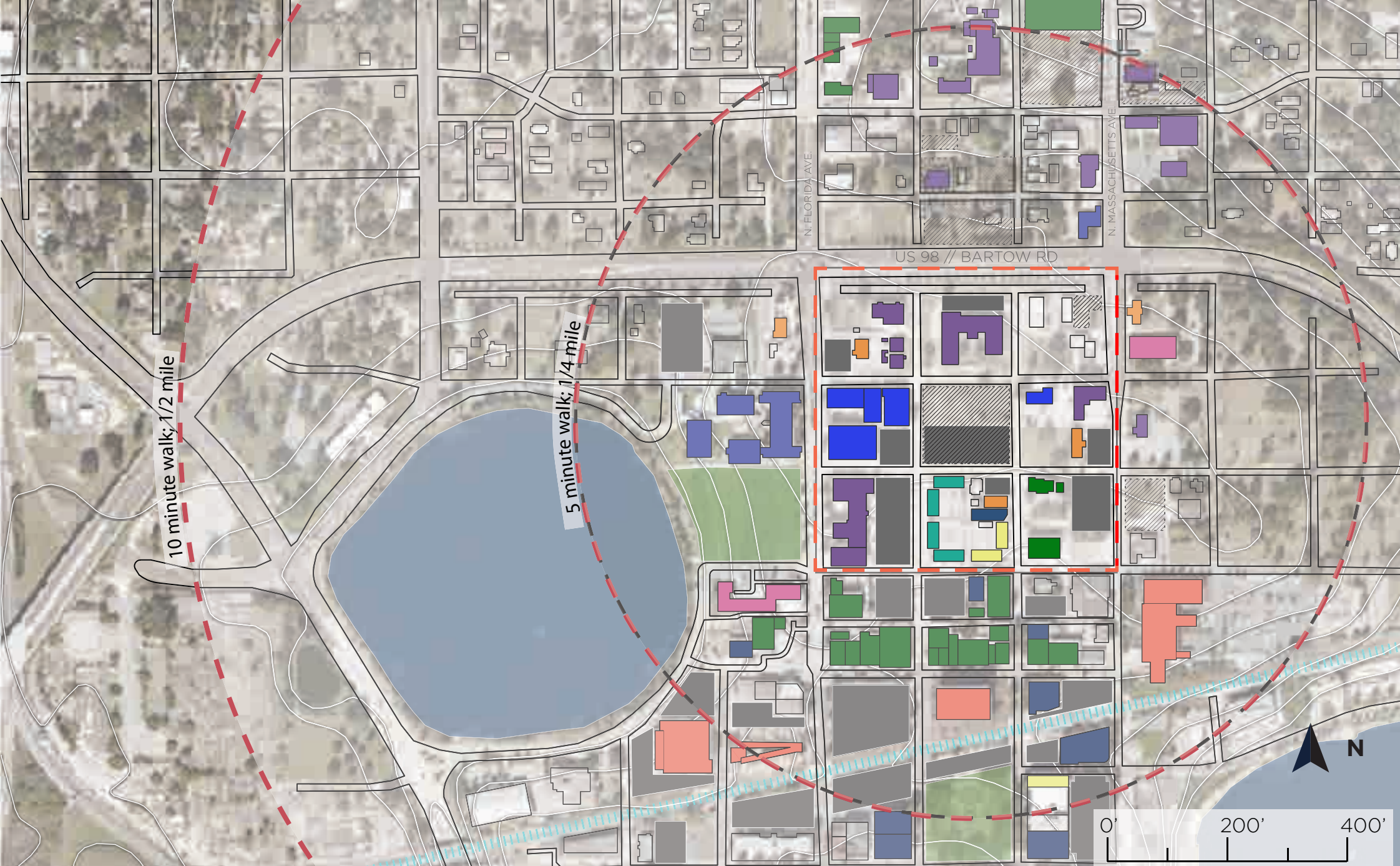
LAKE
LAND
CRA

CONTEXTUAL ANALYSIS

NORTH DOWNTOWN **CATALYST PLAN**

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





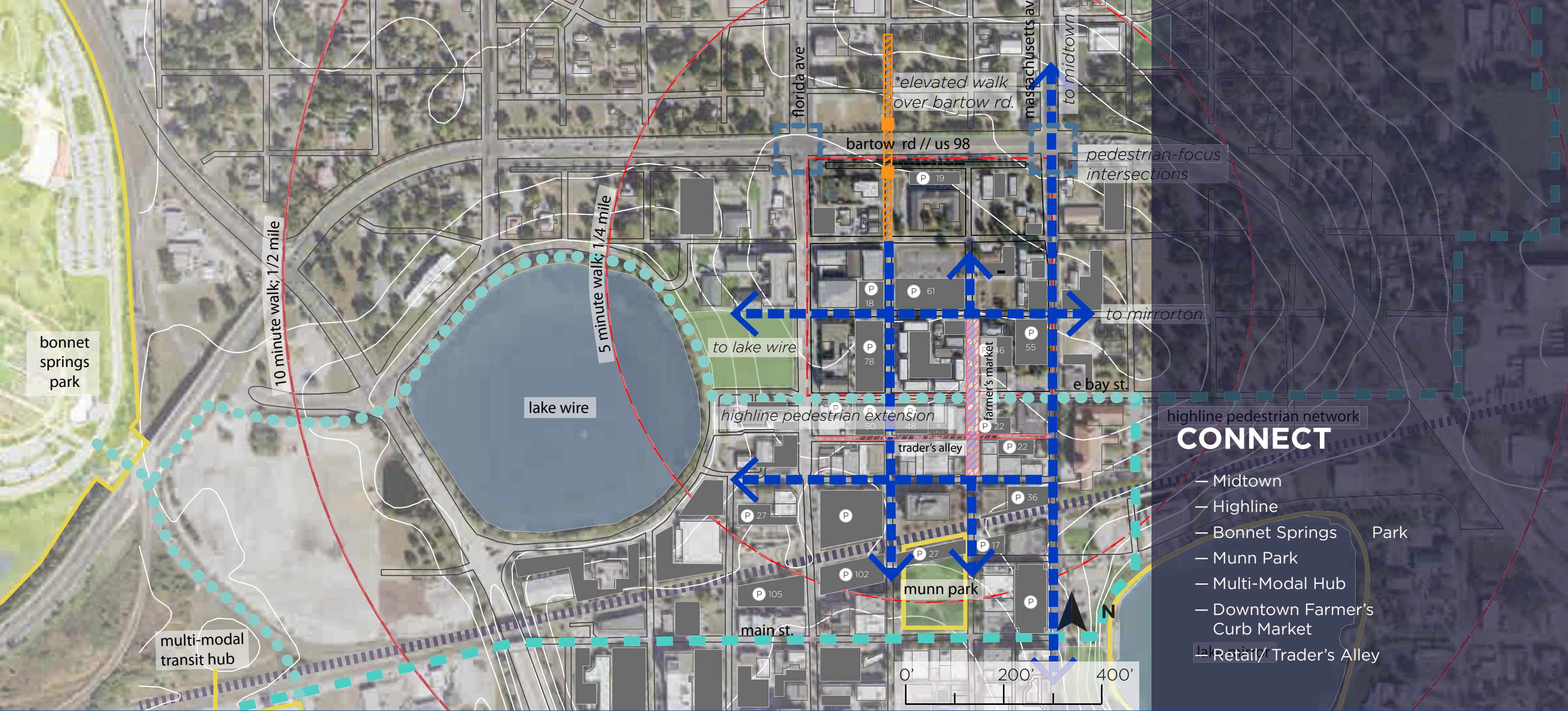
- EDUCATION
- RELIGIOUS
- RETAIL/ BUSINESS
- AUTO
- GOVERNMENT
- FOOD/ BEVERAGE
- MIXED USE
- RESIDENTIAL
- HOSPITALITY
- PARKING
- CRA PROPERTIES

EXISTING CONDITIONS
BUILDING USE

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKE LAND | LAKE LAND CRA | 04.24.2020





bonnet springs park

10 minute walk; 1/2 mile

5 minute walk; 1/4 mile

lake wire

to lake wire

highline pedestrian extension

*elevated walk over bartow rd.

bartow rd // us 98

pedestrian-focus intersections

massachusetts av

e bay st.

to mirrorton

highline pedestrian network

CONNECT

- Midtown
- Highline
- Bonnet Springs Park
- Munn Park
- Multi-Modal Hub
- Downtown Farmer's Curb Market
- Retail/Trader's Alley

0' 200' 400'

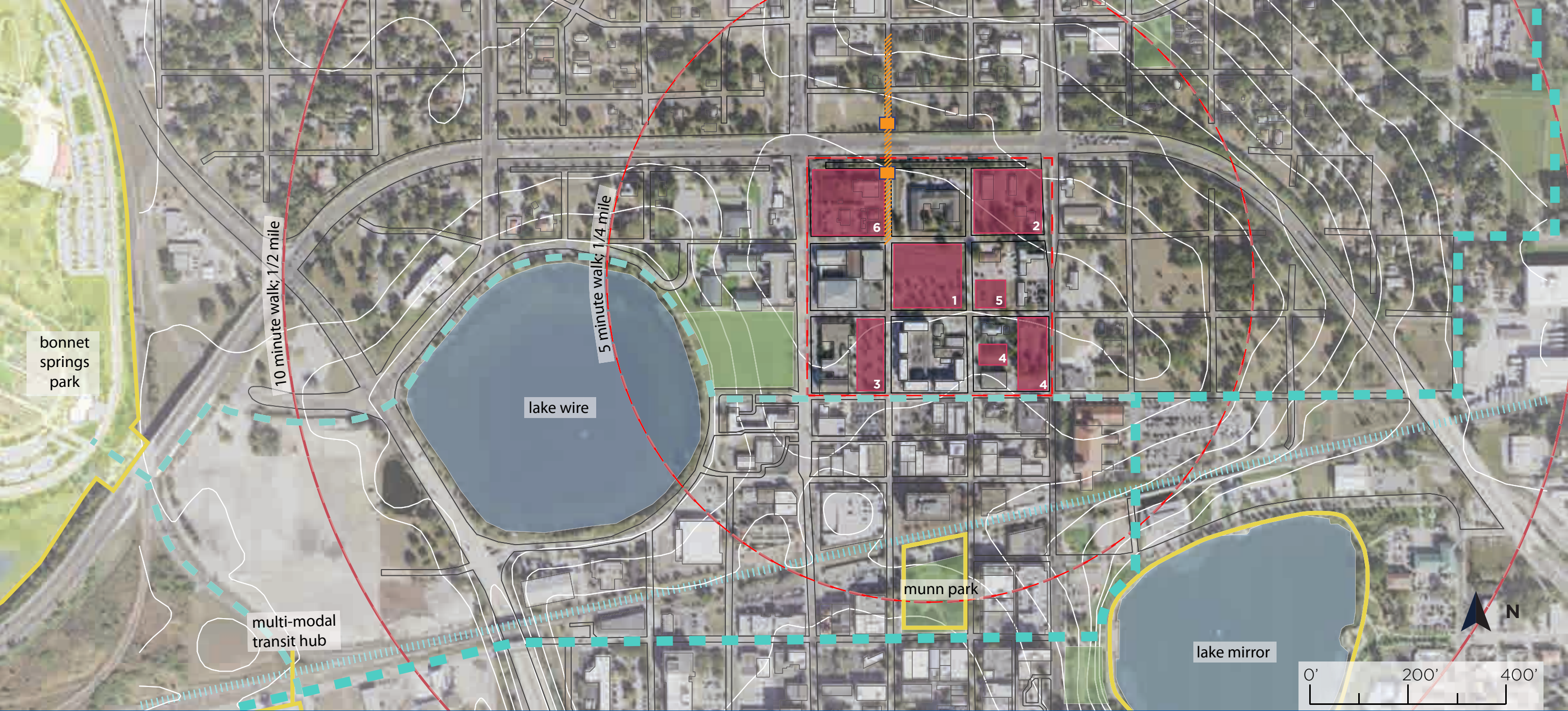
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CONTEXT
ENHANCING CONNECTIVITY

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





POTENTIAL DEVELOPMENT SITES

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKE LAND | LAKE LAND CRA | 04.24.2020

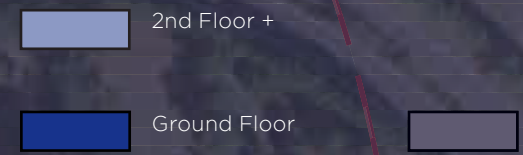


CATALYST PROPOSALS

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





OPPORTUNITIES

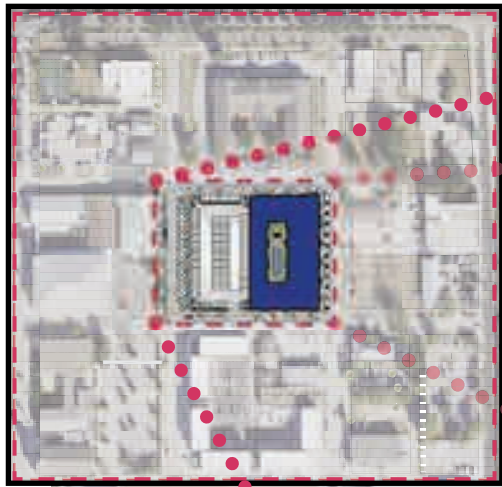
- Residential
 - Affordable
 - Market Rate
 - Town Home
 - Work/ Live
- Commercial
 - Office
 - Retail
- Linear Park/ Green Space
- Efficient Parking

AREAS OF IMPACT
 POTENTIAL DEVELOPMENT SITES & OPPORTUNITIES

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





- 2nd Floor +
- Ground Floor

SITE ONE

Residential Development

201,600 SF Residential

280 Residential Units

\$36.3 MILLION

Parking Garage

+/-600 Parking Spaces

75 On-Street Parking Spaces

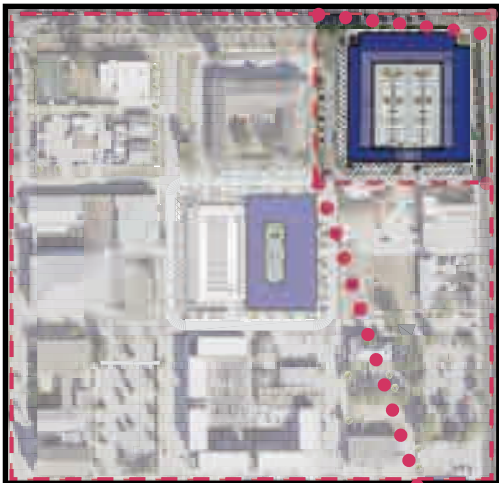
\$9.0 MILLION

\$45.3 MILLION

AREAS OF IMPACT
POTENTIAL DEVELOPMENT SITES & OPPORTUNITIES

NORTH DOWNTOWN CATALYST PLAN
 CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





- 2nd Floor +
- Ground Floor

SITE TWO

Residential/ Commercial
Development

101,600 SF Residential

23,300 SF Office/ Residential

150 Residential Units

106 Off-Street Parking Spaces

31 On-Street Parking Spaces

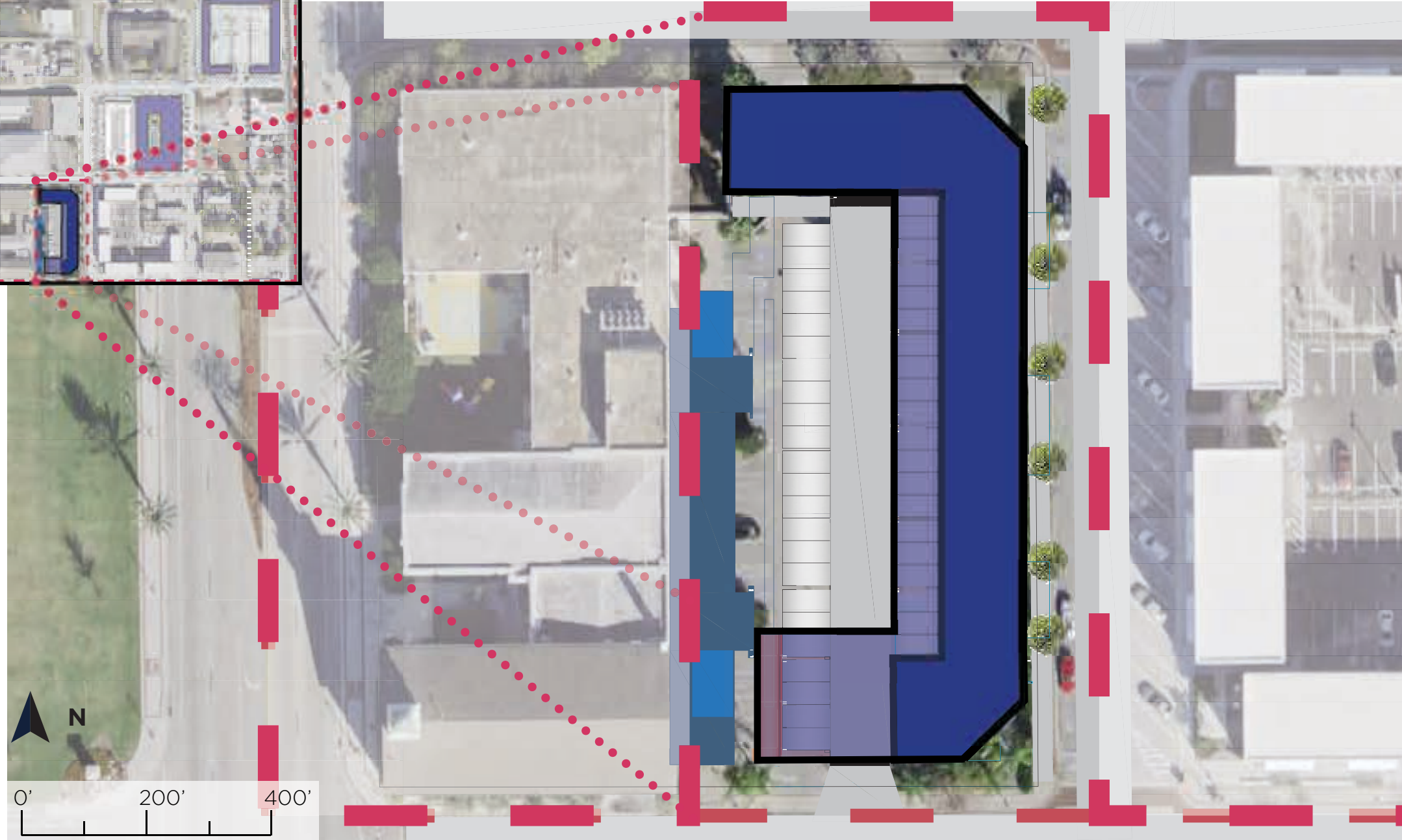
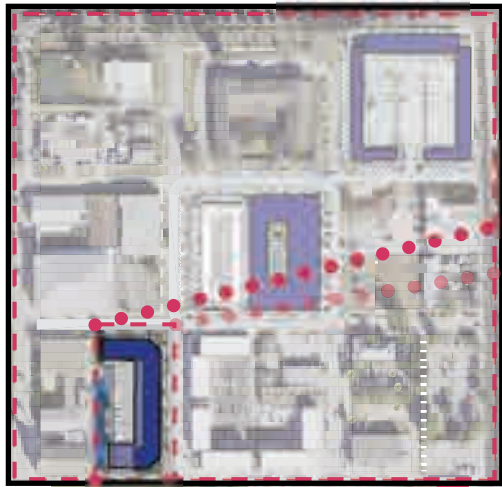
\$16.3 MILLION

AREAS OF IMPACT
POTENTIAL DEVELOPMENT SITES & OPPORTUNITIES

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





- 2nd Floor +
- Ground Floor

SITE THREE

Residential/ Commercial
Development

- 57,900 SF** Residential
- 7,000 SF** McKeel Daycare
- 3,500 SF** Trinity Church Gathering Hall

- 34** Residential Units
- 43** Off-Street Parking Spaces

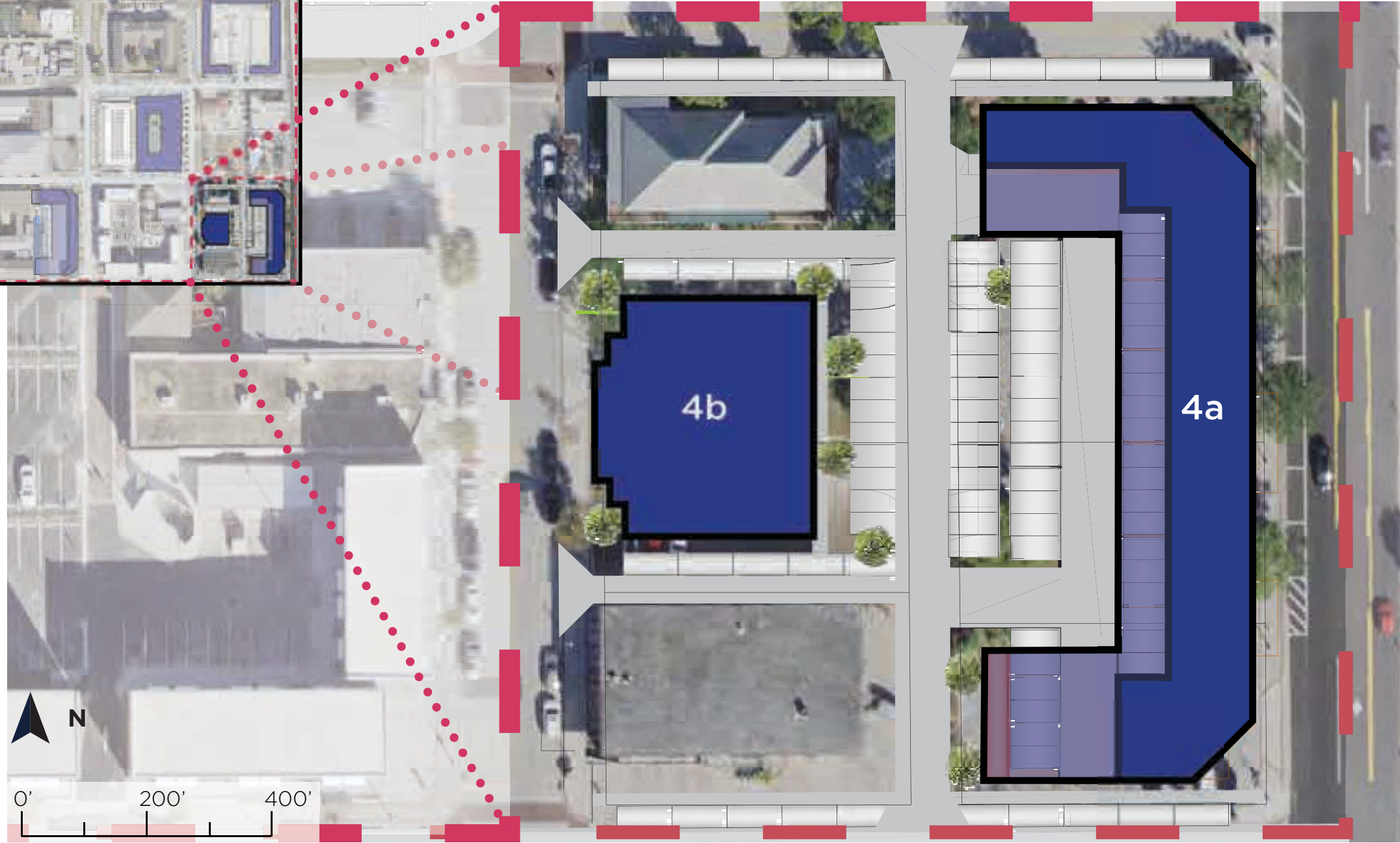
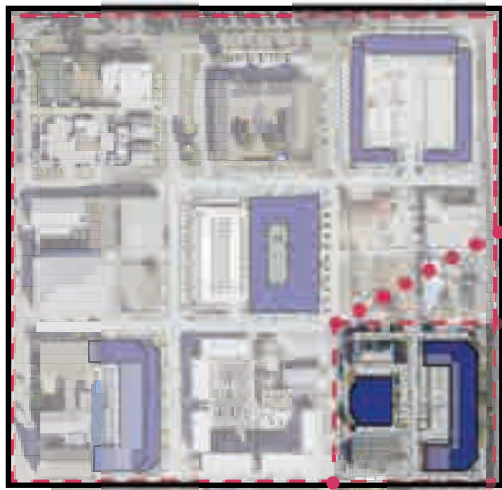
\$8.9 MILLION

AREAS OF IMPACT
POTENTIAL DEVELOPMENT SITES & OPPORTUNITIES

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





- 2nd Floor +
- Ground Floor

SITE FOUR

4A. Mixed Use Development

11,700 SF Retail
54,600 SF Residential

34 Residential Units
43 Off-Street Parking Spaces

\$8.7 MILLION

4B. Mixed Use Development

2,400 SF Retail
20,400 SF Residential

18 Residential Units
74 Off-Street Parking Spaces
17 On-Street Parking Spaces

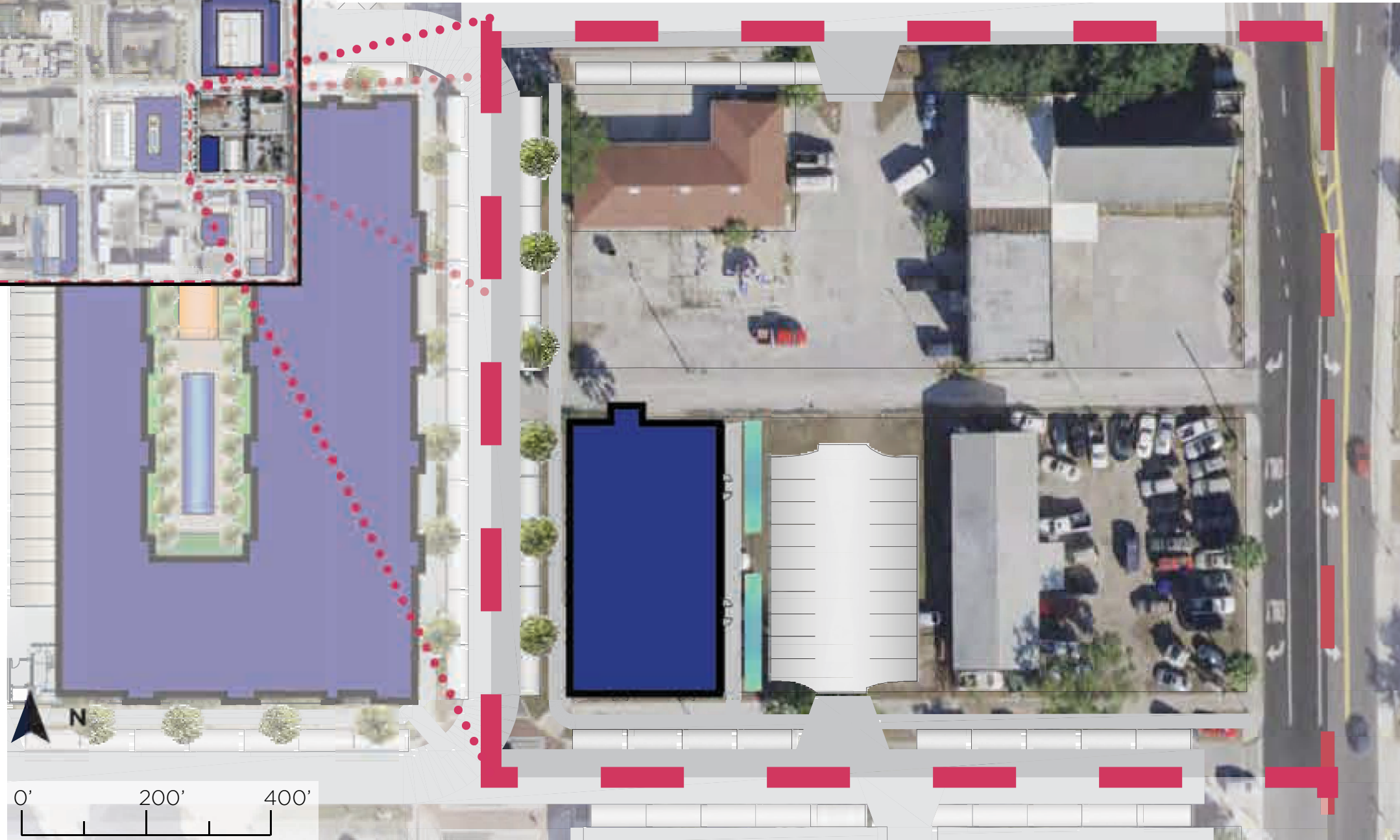
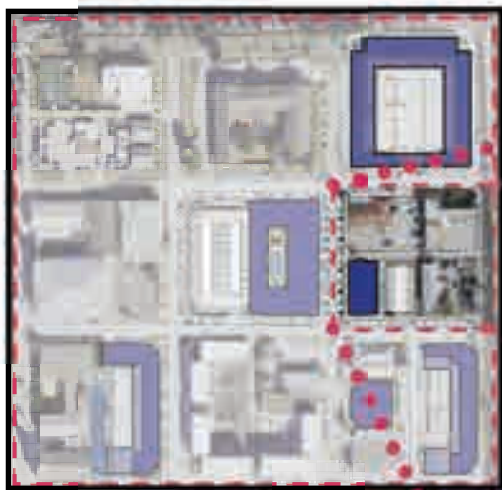
\$3.0 MILLION

AREAS OF IMPACT
POTENTIAL DEVELOPMENT SITES & OPPORTUNITIES

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





- 2nd Floor +
- Ground Floor

SITE FIVE

Mixed Use Development

2,400 SF Retail

20,400 SF Residential

18 Residential Units

20 Off-Street Parking Spaces

23 On-Street Parking Spaces

Rain Garden

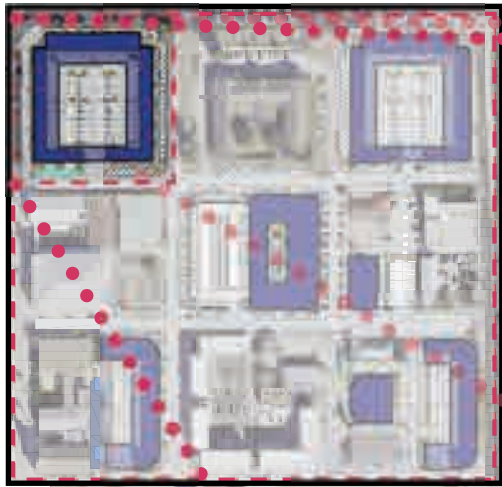
\$3.0 MILLION

AREAS OF IMPACT
POTENTIAL DEVELOPMENT SITES & OPPORTUNITIES

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





- 2nd Floor +
- Ground Floor

SITE SIX

Mixed Use Development

23,300 SF Retail

101,600 SF Residential

150 Residential Units

106 Off-Street Parking Spaces

27 On-Street Parking Spaces

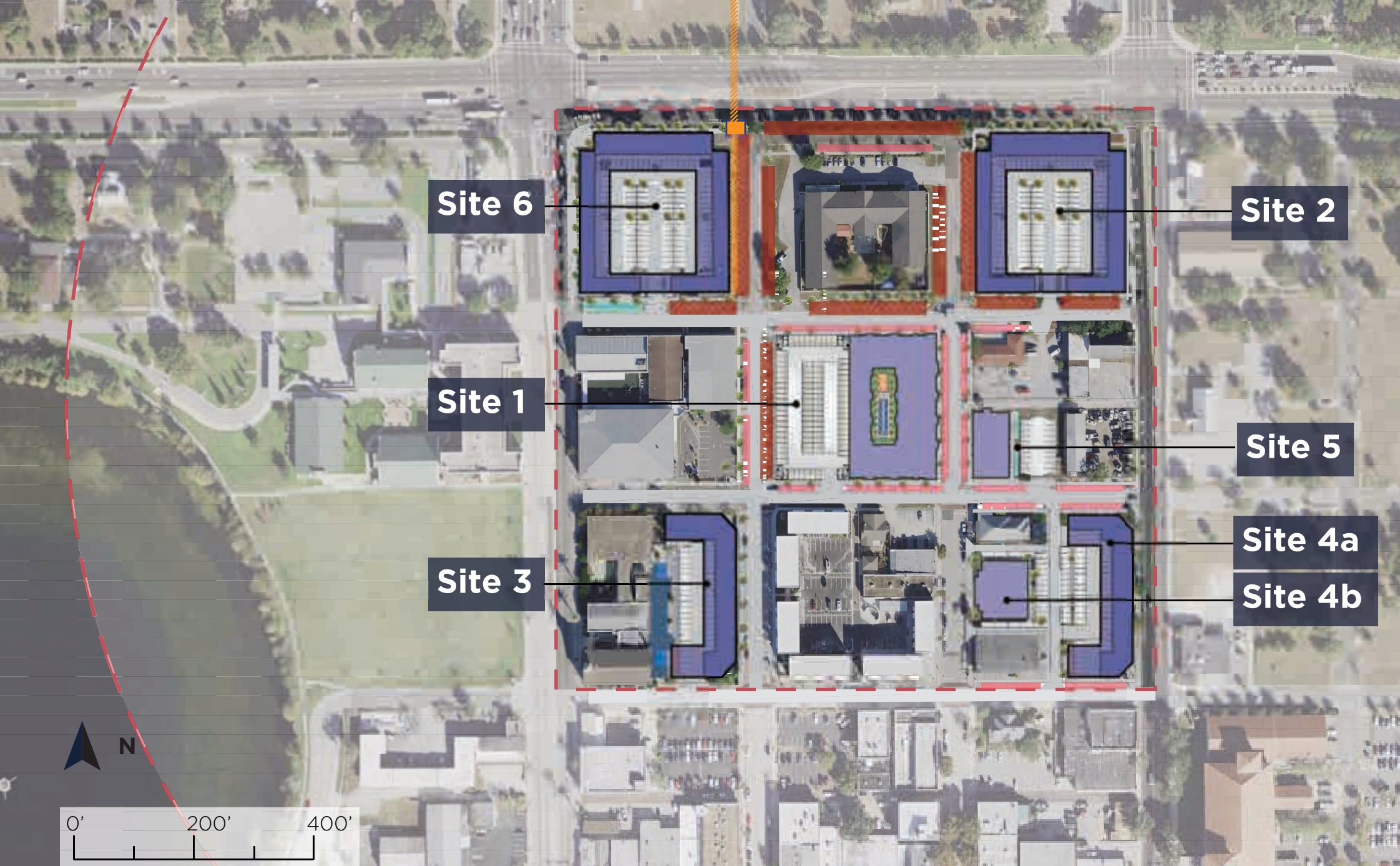
\$16.3 MILLION

AREAS OF IMPACT
POTENTIAL DEVELOPMENT SITES & OPPORTUNITIES

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





Reverse Diagonal Parking Space

Parallel Parking Space

Site 6

Site 2

Site 1

Site 5

Site 3

Site 4a

Site 4b

STREET PARKING

Site 1	75
Site 2	31
Site 4	17
Site 5	23
Site 6	27
Lighthouse	78

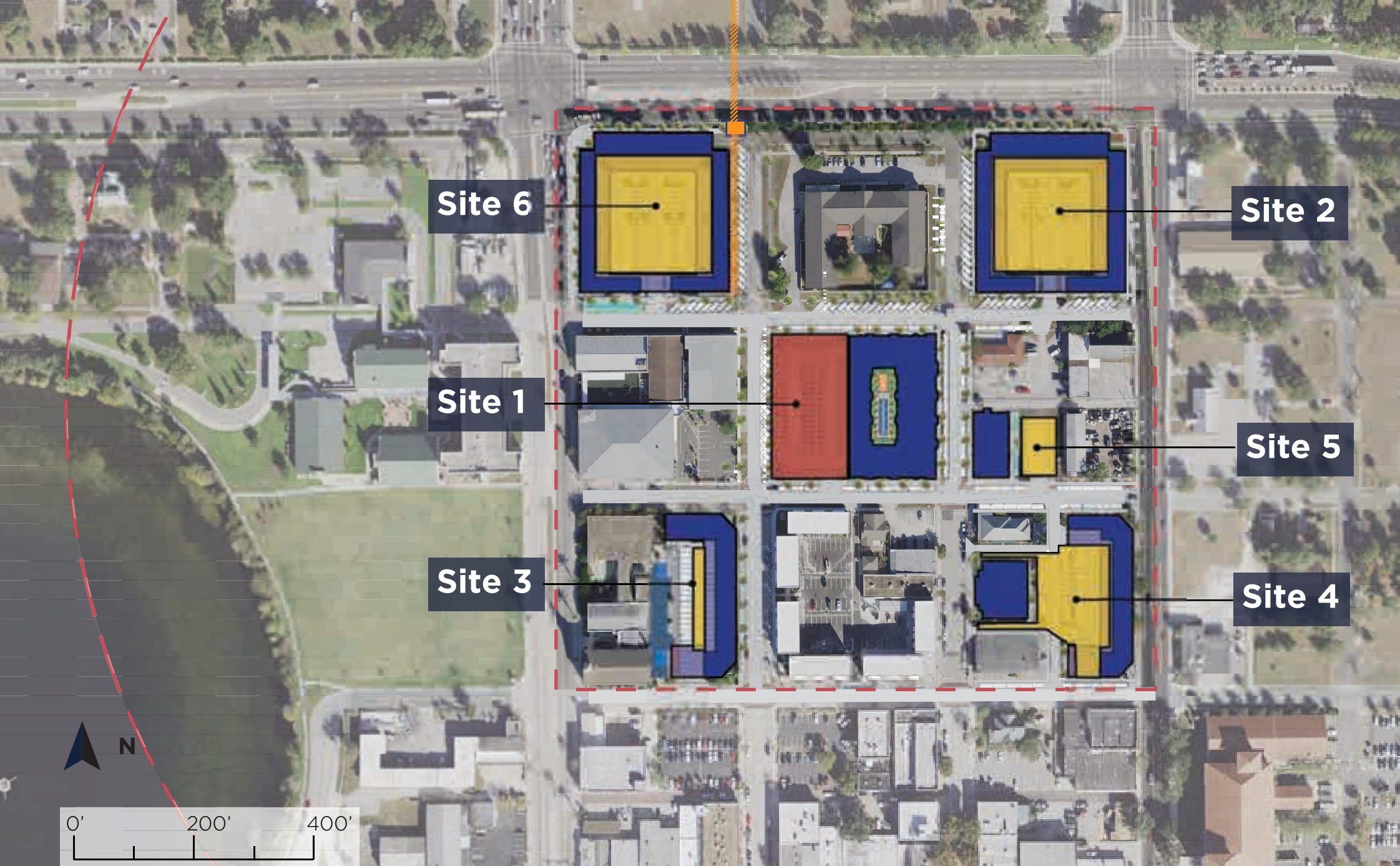
251 ADDITIONAL STREET PARKING

AREAS OF IMPACT
POTENTIAL ON-STREET PARKING

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKE LAND | LAKE LAND CRA | 04.24.2020





**STRUCTURE
PARKING**

Site 1: **600**

**OFF-STREET
PARKING**

Site 2	106
Site 3	19
Site 4	71
Site 5	20
Site 6	106

TOTAL: **322**

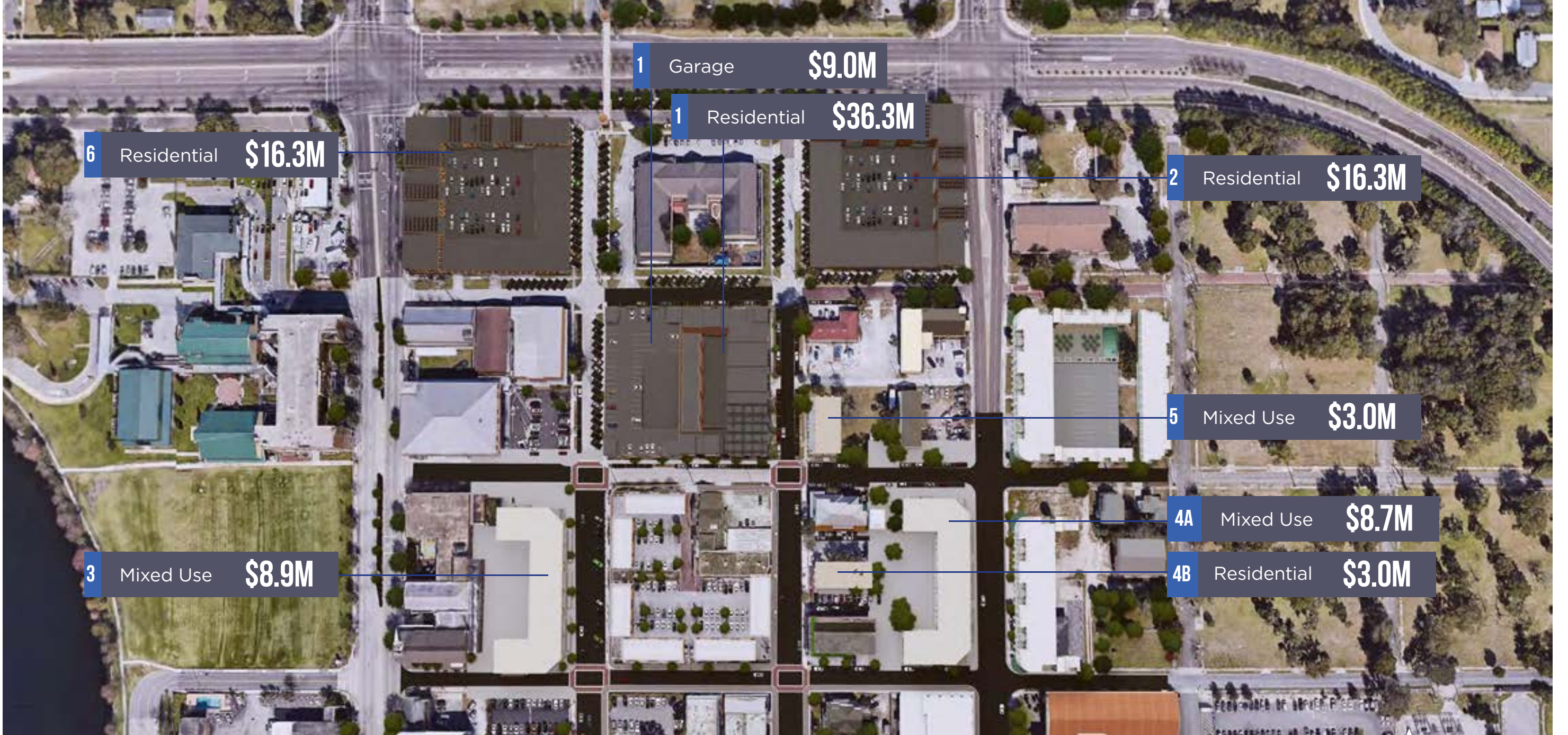
675 NET ADDITIONAL OFF-STREET PARKING

AREAS OF IMPACT
POTENTIAL OFF-STREET PARKING

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





6 Residential \$16.3M

1 Garage \$9.0M

1 Residential \$36.3M

2 Residential \$16.3M

3 Mixed Use \$8.9M

5 Mixed Use \$3.0M

4A Mixed Use \$8.7M

4B Residential \$3.0M

NORTH DT LAKELAND CATALYST SITES - PLAN

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





6 Residential \$16.3M

1 Garage \$9.0M

2 Residential \$16.3M

3 Mixed Use \$8.9M

1 Residential \$36.3M

315 

315 

600 

75 

490 

315 

5 Mixed Use \$3.0M

35 

4A Mixed Use \$8.7M

130 

4B Residential \$3.0M

35 

NORTH DT LAKELAND CATALYST SITES - AERIAL

NORTH DOWNTOWN CATALYST PLAN

CITY OF LAKELAND | LAKELAND CRA | 04.24.2020





228 S MASSACHUSETTS AVE
LAKELAND, FLORIDA 33801
865.834.6011

Memo

To: CRA Advisory Board
From: Terrilyn Bostwick, Senior Project Manager
Through: Alis Drumgo, CRA Manager
Date: August 5, 2021
Re: **207 East Main Street**

I. Background:

Tom Elliott and Cory Petcoff (Developers), formed a partnership TR Hillsborough LLC), and purchased 207 East Main Street with intent to renovate and lease to a first-floor restaurant tenant and second-floor office/ executive suite tenants. Prior to their purchase in September 2020, the building had been sitting vacant since 2008; with several associated code violations. The Developers have been unsuccessful in several attempts to lease the space to prospective tenants due to need for an elevator and elevator lobby, and significant improvements. Therefore, they contracted an architect to draft plans to install the elevator and to renovate both floors. The goal is to bring four (4) new businesses to Downtown.

II. Property Details:

The existing site consists of parcel 24-28-18-211516-000020; totaling 1,308.8 SF (.03 acres) land/building footprint. The space is located in Downtown across from Munn Park; approximately 3,000 SF on the first floor and 5,000 SF on the second floor.



Image Courtesy of Google Maps: 207 E Main Street is the yellow building.

III. Renovation Costs:

The Developers are proposing improvements to include the construction of an elevator and elevator lobby, renovations to accommodate first floor retail (restaurant) and three (3) private offices upstairs with views of Munn Park. The building was purchased for \$350,000, with an additional \$45,000 spent on a new roof, and \$10,000 in various deferred maintenance items. The Developers have applied for the Infill Adaptive Reuse (Infill) and EDGE grants, and under the current guidelines, Staff can administratively approve \$55,000 total. The proposed improvements are estimated to be \$1,087,511 of which approximately \$237,930 are eligible for CRA funding. Given the extensive renovations and need to install an elevator to make the building attractive to tenants/buyers, the Developers are seeking \$150,000.

Staff is recommending approval of up to 10% of the overall project cost, not to exceed \$110,000 which is aligned with recent funding requests. The Developers would like the Board to consider their request of \$150,000.

IV. Board Consideration:

At the Board's discretion, to recommend approval as proposed by Staff or to consider the Developer's request.

Attachments:

- CRA Application
- Elevator and Elevator Lobby Plans
- Second Floor Plans
- Estimated Project Budget
- Applicant Letter/Narrative

My partner Rich Kunzle and I have owned a business and part of the Park Grace Building since 2008. We bought our unit in the building from Jeff Holden who eventually sold a unit to Black and Brew as well. Until September of 2020, Mr. Holden owned the 3000 feet between our Linksters Taproom and the Black and Brew Coffee Shop as well as the 5000 feet on the second floor.

From the time we moved into the building until last year all the remaining units were dark with little to no activity. Mr. Holden would not be described as someone who was overly concerned with bringing in tenants doing the bare minimum in the way of maintenance or improvements.

Against all odds last year we were able to get Mr. Holden to agree to sell the remainder of the building. A task that took a great deal of patience and perseverance. I must confess I was surprised as anyone that we actually got it closed.

Once under contract we formed a partnership with the Petcoff family. We have had a long relationship with Cory and are proud to be associated with these respected members of Lakeland Real Estate Community.

Since purchasing the building for \$360,000 we have put on a new roof for \$45,000 and have probably spent another \$10,000 or so in various deferred maintenance.

We have attempted to lease out the space but have been unsuccessful to this point on agreeing to terms with prospective tenants. Oddly we have had a couple qualified candidates who were interested in the entire remaining space upstairs and down.

In retrospect this probably slowed us down with the amount of moving parts involved in trying to do the whole space. What we learned from this process was that without installing an elevator and carving out the exact measurements from the downstairs for the elevator lobby it was going to be near impossible to get a downstairs retail tenant let alone the prospective upstairs tenants desired.

All said we realize now the scope of what we are trying to accomplish and are before you to ask for a substantial investment in our project.

To be clear our plan is to install the elevator and street entry lobby in the center unit.

We are in significant discussions with a fast casual restaurant concept who wishes to occupy the first floor unit.

We have commissioned Marlon Lynne to be the architect on the bottom floor as well as the proposed three units of office space on the second floor. We plan to have a view of the Park from each of the new units.

We are going to modify our Condominium Documents to potentially allow for the purchase of the upstairs offices as well as the ability to lease to the right tenant.

After almost a year of research we consider this highest and best use of the property and hope that you share our vision for this project.

Thank you for your consideration.

Best Regards,

Tom Elliott

Section 1: Applicant Information

Applicant Name: Corey Petcoff / Tom Elliott
Business Name (if applicable): TR Hillsborough LLC
Mailing Address: 1661 Williamsburg Square, Lakeland FL 33803
Phone: 863-660-7912 Email Address: corey@baronrealty.com
tom.elliott1@comcast.net
Project Address: 207 East Main Street, Lakeland FL 33801
Project Budget: \$ 1,000,000 Requested Grant Amount: \$ 150,000
Lease Term (if applicable): TBD
Property Owner's Name: Same as above (Corey Petcoff and Tom Elliott)
Property Owner's Mailing Address: Same as mailing address
Phone: 863-660-7912 Email Address: corey@baronrealty.com
tom.elliott1@comcast.net

Section 2:

Commercial

- | | |
|---|---|
| <input type="checkbox"/> Design Assistance –Sections 3 & 6
(Dixieland and Midtown Only) | <input checked="" type="checkbox"/> Infill Adaptive Reuse –Sections 3, 5 & 6
(Downtown, Dixieland, and Midtown) |
| <input checked="" type="checkbox"/> Façade & Site Improvement –Sections 3, 5 & 6
(Downtown, Dixieland, and Midtown) | <input type="checkbox"/> TIF – Sections 3, 5 & 6
(Downtown and Midtown Only) |
| <input checked="" type="checkbox"/> EDGE Program –Sections 3, 4, 5 & 6
(Downtown, Dixieland and Midtown) | <input type="checkbox"/> Dixieland Art Infusion - Sections 3, 5 & 6
(Dixieland and Downtown -S. FL Corridor Only) |
| <input checked="" type="checkbox"/> STEMM Program – Sections 3, 5 & 6
(Midtown Only) | |

***All Projects will be deemed final upon issuance of reimbursement or payment.

Section 3:

Building's existing use(s): Neighborhood Bar, Coffee Shop
Building's new use(s): TBD Downstairs Retail, TBD 3 New Office Spaces
(restaurant) Upstairs

General description of proposed improvements:

- New Construction Rehabilitation
- Façade Awnings/Canopies Signs Walls/Fencing/Landscaping
- Electric HVAC Plumbing Fire Suppression
- Mural Other Elevator and Elevator Lobby

Please provide a brief description of the work to be performed, materials to be used, color and material samples (if applicable).

Elevator lobby and elevator to be used to access the second floor. Second floor to consist of small common area and three new office spaces. Offices to be on the upscale side and all with views of Munn Park. Units will be available for lease or purchase. Goal of bringing a total of four (4) new businesses to the downtown.

Section 4: Business Information

What is the expected opening date? Summer 2022

What type of food-related business is being proposed? Fast, casual with SRX liquor license

What will be the business' hours of operation? Downstairs 7 days, hrs TBD Upstairs offices, hrs TBD

Is the proposed business a franchise? No Yes

Will entertainment be offered? No Yes

Will there be outdoor seating at this establishment? No Yes

What is the proposed seating capacity of the restaurant, if applicable? 150 seats

Is this the business' 1st location, 2nd location or a relocation? 1st location

Section 5: Required Documentation

- Project schedule *September 2021 - September 2022*
- Proposed budget
- Three cost estimates
- Schematic drawings illustrating proposed site plan/floorplan
- Description of materials to be used, the construction procedure and colors
- Photographs of the existing building and the proposed project area
- Notarized letter from property owner
- W-9
- Food-related services resume(s) – if applicable
- Certificate of Review from the Historic Preservation Board – if applicable
- Rendering of proposed artwork- if applicable
- Number of Full-Time jobs created – if applicable

TIF Applications (Additional Documentation)

- Letter of request
- Current assessed value

Section 6: Signatures

Applicant's Signature: *[Handwritten Signature]*
Property Owner's Signature: *[Handwritten Signature]*

Date: *7.23.2021*
Date: *7.23.2021*

Concept Budget Submission

\$ 1,087,511 \$213.28 /gsf

Budget Summary
Concept Docs Dated Oct 12, 2020

5,099.00 GSF
4,971.00 AC/SF
2,492.00 pied Adjacent Ground Floor

Div	Item	Qty	U/M	U/P	Item \$	Div Total	\$/gsf	\$/ac-sf	% of Total
Sitework						54,581	10.70	10.98	5.02%
	Demolition	1	ls		54,581				0.00%
	Install Temporary Post Shores	3	ea	150.00	450		0.09	0.09	0.04%
	Install Temporary Scaffold Shoring	45	lf	25.00	1,125		0.22	0.23	0.10%
	Sawcut and Remove Elevator Pit Slab	128	sf	4.00	512		0.10	0.10	0.05%
	Remove Existing Steel Column	3	ea	150.00	450		0.09	0.09	0.04%
	Cut and Remove Existing Triple 2x12 Beam	22	lf	12.00	264		0.05	0.05	0.02%
	Cut and Remove Existing Double 2x12 Beam	18	lf	10.00	180		0.04	0.04	0.02%
	Cut and Remove Existing 2x10/2x12 Joists	108	lf	8.00	864		0.17	0.17	0.08%
	Remove Existing 2nd Floor Perimeter Wood Lath and Any Remaining Plaster/Gyp.	4,260	sf	1.50	6,390		1.25	1.29	0.59%
	Remove Existing 2nd Floor Wood Lath Ceilings and Any Remaining Plaster/Gyp.	4,835	sf	2.00	9,670		1.90	1.95	0.89%
	Selective Remove and Salvage Existing 2nd Floor Partition Framing	3,263	sf	1.50	4,895		0.96	0.98	0.45%
	Remove Existing 2x6 Framed Exterior Wall	105	sf	2.00	210		0.04	0.04	0.02%
	Remove Existing 3070 Wood Window	5	ea	150.00	750		0.15	0.15	0.07%
	Remove Existing 6070 Wood Window	7	ea	300.00	2,100		0.41	0.42	0.19%
	Remove Existing Wood Entry Doors	4	leaf	100.00	400		0.08	0.08	0.04%
	ALLOWANCE to Remove 50% T&G Wood Flooring	2,418	sf	2.00	4,835		0.95	0.97	0.44%
	ALLOWANCE to Remove 25% Roof Sheathing	1,209	sf	2.00	2,418		0.47	0.49	0.22%
	ALLOWANCE to Remove 25% Existing 15' Floor Joists (center Bay Only)	17	ea	125.00	2,063		0.40	0.41	0.19%
	ALLOWANCE to Remove 25% Roof Rafters	41	ea	125.00	5,156		1.01	1.04	0.47%
	Clean all Debris Existing Ground Floor	160	m-hr	30.00	4,800		0.94	0.97	0.44%
	Clean all Debris Existing Second Floor	160	m-hr	30.00	4,800		0.94	0.97	0.44%
	Haul and Dispose Demolition Dumpster	3	load	750.00	2,250		0.44	0.45	0.21%
									0.00%
Concrete						10,578	2.07	2.13	0.97%
	CONCRETE	10	cy	1,039.56					0.00%
	Elevator Pit Bottom Slab-12" (Hand Excav. 5')	5.21	cy	1,000.00	5,215		1.02	1.05	0.48%
	Patch Floor Trench for Plumbing (68'x2')	2.77	cy	750.00	2,078		0.41	0.42	0.19%
	Elevator Cap Slab-5"	2.19	cy	1,500.00	3,285		0.64	0.66	0.15%
									0.00%
Masonry						38,216	7.49	7.69	3.51%
	8" CMU Filled Elevator Shaft Walls-43'	1,806.00	sf	16.00	28,896		5.67	5.81	2.66%
	8" CMU 2 hr Demising Walls-15'	585.00	sf	12.00	7,020		1.38	1.41	0.65%
	Infill Abandoned Windows and 2 Vent Openings	191.66	sf	12.00	2,300		0.45	0.46	0.21%
									0.00%
Metals						4,500	0.88	0.91	0.41%
	Miscellaneous Metals	1.00	LS	4,500.00					0.00%
	Wall Mtd Stair Rails	65.00	lf	40.00	2,600		0.51	0.52	0.24%
	Elevator Hoist Beam	1.00	ea	750.00	750		0.15	0.15	0.07%
	Elevator Sill Angles	2.00	ea	200.00	400		0.08	0.08	0.04%
	Elevator Pit Ladder	1.00	ea	500.00	500		0.10	0.10	0.05%
	Sump Pit Grate	1.00	ea	250.00	250		0.05	0.05	0.02%
									0.00%
Carpentry						46,738	9.17	9.40	4.30%
	Structural Framing	1.00	LS	25,425.94					0.00%
	ALLOWANCE to Install 50% 3/4" Floor Sheathing	2,418	sf	2.75	6,648		1.30	1.34	0.61%
	ALLOWANCE to Install 25% 3/4" Roof Sheathing	1,209	sf	2.75	3,324		0.65	0.67	0.31%
	ALLOWANCE to Replace Damaged Existing 2x10 Joists avg 20'	17	ea	225.00	3,713		0.73	0.75	0.34%
	ALLOWANCE to Replace Damaged Existing 2x10 Rafters avg 20'	41	ea	225.00	9,281		1.82	1.87	0.85%
	Install New Double 2x10 Perimeter Framing-Bolted to CMU	82	lf	30.00	2,460		0.48	0.49	0.23%
									0.00%
	Wood Stud Framing	1.00	LS	21,312.50					0.00%
	Infill and Repair Existing Wood Framed Walls w/ Salvaged Rough Dimensioned Lumber	2,158	sf	2.50	5,395		1.06	1.09	0.50%
	Frame New Rest Room and Machine Room Walls	845	sf	3.50	2,958		0.58	0.59	0.27%
	2x3 Wood Framing for Perimeter Drywall	4,320	sf	3.00	12,960		2.54	2.61	1.19%
									0.00%
Thermal & Moisture						118,715	23.28	23.88	10.92%
	Waterproofing	1.00	LS	60,263.25					0.00%
	Caulk Existing Exterior and New Openings	5,205.00	sf	1.25	6,506		1.28	1.31	0.60%
	Waterproofing Membrane Interior Existing Brick Perimeter	4,305.00	sf	3.00	12,915		2.53	2.60	1.19%
	Spray Insulate Interior Existing Brick Perimeter	4,305.00	sf	4.50	19,373		3.80	3.90	1.78%
	Spray Insulate Existing Roof Deck	4,771.00	sf	4.50	21,470		4.21	4.32	1.97%
									0.00%
	Roofing	1.00	LS	58,452.00					0.00%

Strip and Replace Roof Membrane	4,771.00	sf	12.00	57,252		11.23	11.52	5.26%	
Elevator Cap Sheet Metal	40.00	lf	30.00	1,200		0.24	0.24	0.11%	
				-		-	-	0.00%	
Door & Windows						39,350	7.72	7.92	3.62%
Doors and Hardware	1.00	LS		14,150.00		-	-	0.00%	
Office Door/Frame and Hardware	7.00	leaf		900.00	6,300	1.24	1.27	0.58%	
New Lobby Entry Door Frame and Hardware	1.00	leaf		1,500.00	1,500	0.29	0.30	0.14%	
Replace Stairwell Entry Door and Hardware	1.00	leaf		1,200.00	1,200	0.24	0.24	0.11%	
Replace Double Entry Doors and Hardware	2.00	leaf		1,200.00	2,400	0.47	0.48	0.22%	
Unload, Stock, Hang and Install Hardware	11.00	set		250.00	2,750	0.54	0.55	0.25%	
				-	-	-	-	0.00%	
Glass and Glazing	1.00	LS		25,200.00		-	-	0.00%	
Install New 3070 Exterior Windows	5.00	ea		1,680.00	8,400	1.65	1.69	0.77%	
Install New 6070 Exterior Windows	5.00	ea		3,360.00	16,800	3.29	3.38	1.54%	
				-	-	-	-	0.00%	
Finishes						129,121	25.32	25.97	11.87%
Stucco and Drywall	1.00	LS		50,395.50		-	-	0.00%	
Stucco Front Entry Wall/Patch and Repair	525.00	sf		10.00	5,250	1.03	1.06	0.48%	
Stucco CMU Elevator Overrun	400.00	sf		10.00	4,000	0.78	0.80	0.37%	
Patch and Repair Stairwell Walls	512.00	sf		2.50	1,280	0.25	0.26	0.12%	
Sheetrock Perimeter 2nd Floor	4,260.00	sf		3.00	12,780	2.51	2.57	1.18%	
Sheetrock Interior Partitions	6,006.00	sf		3.00	18,018	3.53	3.62	1.66%	
Furr and Sheetrock Lobby 2hr Masonry	2,418.00	sf		3.75	9,068	1.78	1.82	0.83%	
				-	-	-	-	0.00%	
Acoustical	1.00	LS		20,356.00		-	-	0.00%	
2x2 ACT Ceiling 2nd Floor	4,750.00	sf		4.00	19,000	3.73	3.82	1.75%	
2x2 ACT Ceiling Lobby Entry	339.00	sf		4.00	1,356	0.27	0.27	0.12%	
				-	-	-	-	0.00%	
Flooring and Base	1.00	LS		22,094.50		-	-	0.00%	
LVT and/or Carpet 2nd Floor	3,920.00	sf		4.50	17,640	3.46	3.55	1.62%	
LVT and/or Carpet Lobby Entry	339.00	sf		4.50	1,526	0.30	0.31	0.14%	
VCT Elevator Machine Room	60.00	sf		1.50	90	0.02	0.02	0.01%	
Rubber Stair Treads and Landings	194.00	sf		3.50	679	0.13	0.14	0.06%	
Painted Wood Base 2nd Floor	606.00	lf		3.00	1,818	0.36	0.37	0.17%	
Painted Wood Base Lobby Entry	98.00	lf		3.00	294	0.06	0.06	0.03%	
Vinyl Base Machine Room	32.00	lf		1.50	48	0.01	0.01	0.00%	
				-	-	-	-	0.00%	
Tile	1.00	LS		11,995.00		-	-	0.00%	
Rest Room Tile Floors	170.00	sf		11.00	1,870	0.37	0.38	0.17%	
Rest Room Tile Walls	810.00	sf		12.50	10,125	1.99	2.04	0.93%	
				-	-	-	-	0.00%	
Painting	1.00	LS		24,280.00		-	-	0.00%	
Paint Building Exterior Stucco Front and Rear Elevation	1,450.00	sf		2.50	3,625	0.71	0.73	0.33%	
Prime & Paint 2nd Floor Drywall	10,778.00	sf		1.25	13,473	2.64	2.71	1.24%	
Prime & Paint Lobby Entry Drywall	2,418.00	sf		1.25	3,023	0.59	0.61	0.28%	
Paint Wood Trim Interior	704.00	lf		2.50	1,760	0.35	0.35	0.16%	
Paint Doors and Frames Interior	7.00	ea		200.00	1,400	0.27	0.28	0.13%	
Paint Exterior Doors and Frames	4.00	ea		250.00	1,000	0.20	0.20	0.09%	
				-	-	-	-	0.00%	
Specialties						-	-	0.00%	
None Anticipated						-	-	0.00%	
						-	-	0.00%	
Equipment						3,450	0.68	0.69	0.32%
Fire Extinguishers and Cabinets	3	ea		350.00	1,050	0.21	0.21	0.10%	
Toilet Accessories and Mirrors	3	sets		800.00	2,400	0.47	0.48	0.22%	
				-	-	-	-	0.00%	
Furnishings						1,775	0.35	0.36	0.16%
Window Treatments Second Floor	273.00	sf		6.50	1,775	0.35	0.36	0.16%	
				-	-	-	-	0.00%	
Special Construction						-	-	0.00%	
None Anticipated						-	-	0.00%	
						-	-	0.00%	
Conveyance						80,000	15.69	16.09	7.36%
Machine Room Less (MRL) Elevator	2	stop		40,000.00	80,000	15.69	16.09	7.36%	
				-	-	-	-	0.00%	
Mechanical						136,920	26.85	27.54	12.59%
Fire Sprinklers (Assume Existing Tenants completed or N/R)	1	LS		29,769.75		-	-	0.00%	
Sprinklers Common and Suites A, B and C	5099	sf		4.25	21,671	4.25	4.36	1.99%	
Sprinklers Adjacent Space First Floor	2492	sf		3.25	8,099	1.59	1.63	0.74%	
				-	-	-	-	0.00%	
Plumbing	1	LS		24,100.00		-	-	0.00%	
Rest Room Water Closet, w/Water and Drain	3	ea		3,500.00	10,500	2.06	2.11	0.97%	
Rest Room Wall Lavatory, w/Water and Drain	3	ea		4,000.00	12,000	2.35	2.41	1.10%	
Elevator Sump Pump w/ Drain	1	ea		1,600.00	1,600	0.31	0.32	0.15%	
				-	-	-	-	0.00%	
HVAC	1	LS		83,050.00		-	-	0.00%	
HVAC System Common, w/ Ducts and Fresh Air	2	tn		5,000.00	10,000	1.96	2.01	0.92%	
HVAC System Suite A, w/ Ducts and Fresh Air	4	tn		6,000.00	24,000	4.71	4.83	2.21%	
HVAC System Suite B, w/ Ducts and Fresh Air	3	tn		6,000.00	18,000	3.53	3.62	1.66%	
HVAC System Suite C, w/ Ducts and Fresh Air	5	tn		6,000.00	30,000	5.88	6.04	2.76%	
Rest Room Exhaust System for 3	300	cfm		3.50	1,050	0.21	0.21	0.10%	
				-	-	-	-	0.00%	
Electrical						101,930	19.99	20.50	9.37%
Lighting and Power	1	LS		101,930.04		-	-	9.37%	
House and Main	846	sf		30.00	25,380	4.98	5.11	2.33%	
Suite A	1460	sf		18.00	26,273	5.15	5.29	2.42%	
Suite B	934	sf		18.00	16,806	3.30	3.38	1.55%	
Suite C	1859	sf		18.00	33,471	6.56	6.73	3.08%	
				-	-	-	-	0.00%	

Cost of Work Subtotal			765,874	765,874	150.20	154.07	70.42%
CM Contingency	10.00%			76,587	15.02	15.41	7.04%
					-	-	0.00%
Pre-Con (Concept, DD, CD)	6.50	wk	2,500.00	16,250	3.19	3.27	1.49%
General Conditions -PM, Superintendant and truck	8.00	mo	12,000.00	96,000	18.83	19.31	8.83%
Site Project Requirements (Layout, clean Streets, Cleaning, Trash, Work from Truck, Portable Toilets, Water and Power available, Final Clean.	3.50%			29,486	5.78	5.93	2.71%
Design Fee		OWNER			-	-	0.00%
					-	-	0.00%
Building Permit		OWNER			-	-	0.00%
Builders Risk		AVAILABLE			-	-	0.00%
Contractors Insurance	1.50%			16,313	3.20	3.28	1.50%
P&P Bond		AVAILABLE			-	-	0.00%
					-	-	0.00%
CM OH&P	8.00%			87,001	17.06	17.50	8.00%

			Budget Estimate Total	\$ 1,087,511	\$213.28 GSF
					\$218.77 ac-sf

General Notes

- The set of documents shall not be separated. Any product or work shown on any sheet shall be included by the contractor with or without details.
- Contractor is responsible for coordination between sheets of the set and coordination of subcontractors work.
- All contractors and subcontractors shall conform to all state and local codes applicable to their trades as well as provide safe site conditions at all times complying with all applicable OSHA requirements.
- The contractor shall field verify the locations, elevations, and dimensions of all existing utilities, structures and other features affecting this work prior to construction. Locations, elevations, and dimensions of existing utilities, structures, and other features are shown according to information available at the time of preparation of these plans. The contractor shall check plans and field conditions for conflicts and discrepancies prior to construction. The contractor shall notify the owner's architect/engineer of any conflict before performing any work in the affected area.
- All specifications and documents referred to shall be of latest revisions and/or latest edition.
- Only work shown on this drawing is certified by the architect.
- Any condition (connections, corner flashings, etc.) not detailed shall be resolved to the architect's or engineer's satisfaction in a manner compatible with the project.
- Any special structural design required, not shown by the architect shall be done by a qualified structural engineer.
- Do not scale the drawings. Dimensions shall not be measured from plans due to possible changing of the size of drawings during reproduction.
- Dimensions are to the structural grid or to finish surfaces, unless otherwise indicated.
- Doors and cased openings indicated nearby wall intersections shall be located so that the edge of the finish opening is six inches from the face of the nearby wall unless otherwise indicated. All other doors and cased openings shall be centered between adjacent wall intersections.
- All concrete shall be 3000 PSI in 28 days.
- Assumed soil bearing pressure of 2000 PSF minimum.
- All walls to be properly braced until concrete slab is locked in place.
- Back filling behind concrete walls to be done in 6" to 12" layers and tamped.
- Contractor responsible for supervision of construction.
- Any field changes required which are not consistent with these drawings shall be requested in writing to the architect who will determine if drawings modifications are required for county or city approval.
- The contract documents are complementary, and what is required by one shall be as binding as if required by all. The contractor shall coordinate all portions of the work as described in the contract documents. Notify the architect for resolution of all discrepancies prior to construction.
- Site engineering, building placement, soil analysis and topographic work shall be the responsibility of the owner / contractor. Any information not consistent with plans shall be brought to the attention of the architect in writing.
- Recessed pendant type sprinkler heads (if used) shall be extended to new ceiling. Heads to center on acoustical tiles (if used).
- Minimum of R-30 Insulation shall be placed above the ceiling or as shown within drawings.
- Walls not extending to structure above must be braced to structure at 4'-0" o.c. minimum.
- Provide blocking in walls for all wall mounted building accessories.
- The contractor is responsible for repairing any damage to existing facilities, above or below ground, that may occur as a result of the work performed by the contractor.
- It is the contractor's responsibility to become familiar with the permit and inspection requirements of the various governmental agencies. The contractor shall obtain all necessary permits prior to construction, and schedule inspections according to agency instruction.
- Contractor shall submit for review to the owner's architect/engineer shop drawings on all precast and manufactured items to be used on this site. Failure to obtain approval before installation may result in removal and replacement at contractor's expense. Architect's/engineer's approval of a shop drawing does not relieve contractor's responsibility for performance of the item.
- Record Drawings- The contractor shall be responsible for recording information on a set of the approved plans concurrently with construction progress. Within two weeks following final inspection the contractor shall submit one set of record drawings to the architect/engineer of record. The final record drawings shall comply with the following requirements:
 - Drawings to be legibly marked to record actual construction.
 - Drawings shall show actual location of all building elements both above and below ground.
 - Drawings shall clearly show all field changes of dimension and detail including changes made by field order or by change order.
 - Drawings shall clearly show all details not on original contract drawings but constructed in the field.
- Any Elevations, Details, Hidden Conditions and/or Products not shown on drawings that are required as per the architect's judgement shall be provided and installed to Architect's satisfaction at no cost to the owner.
- All exterior finishes shall be protected w/ coating appropriate to material. Contractor shall request product selection and installation details from architect.

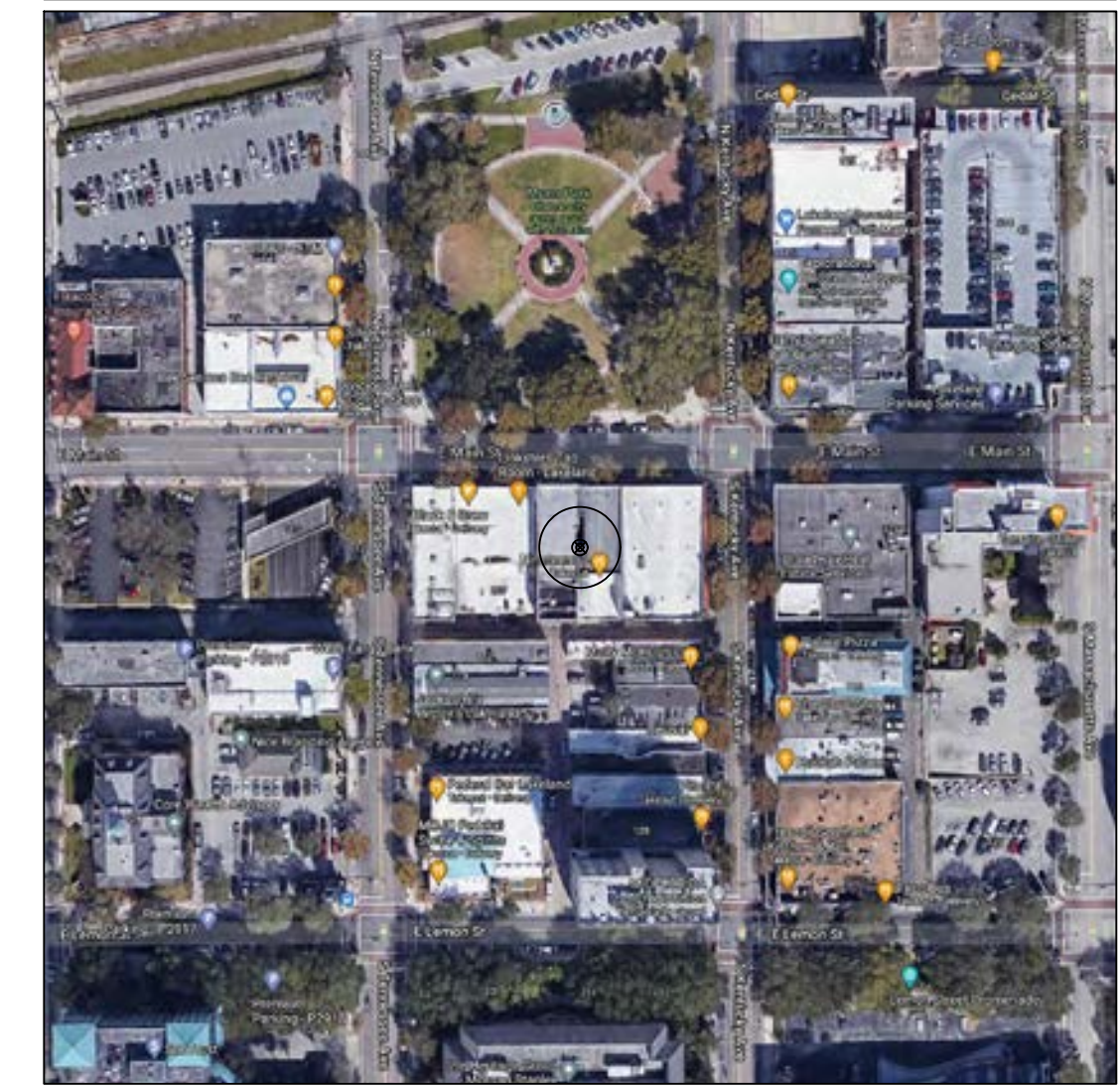
Drawing Index

Sheet	Contains
C1.11	Design Criteria, Location Map, General Notes
LS1.11	Life Safety Plans
LS2.11	ADA Details 1
LS2.12	ADA Details 2
LS3.11	UL Design
S1.11	Foundation Plan
S1.21	Second Floor Framing Plan
S1.31	Roof Framing Plan
D1.11	Demolition Plans
A1.11	Floor Plans
A1.21	Roof Plan
A2.11	Building Elevation
A3.11	Elevator Details

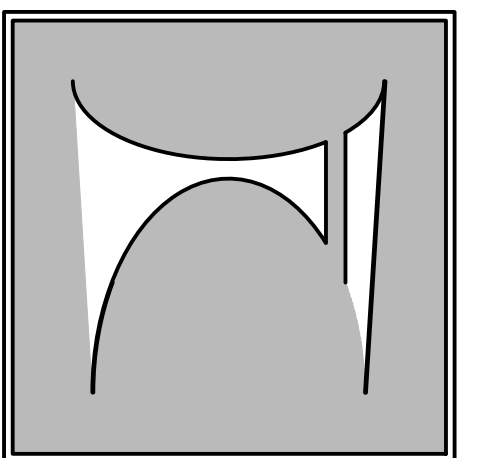
Design Criteria

Codes	Classification	Building Data
Florida Building Code (FBC)	Seventh Edition	Category
FBC - Mechanical	Seventh Edition	Total Building Area
FBC - Plumbing	Seventh Edition	9,000 sf per floor
FBC - Fuel Gas	Seventh Edition	8,342 sf
FBC - Existing Building	Seventh Edition	Number of Stories
ASCE	7-16	2
National Electrical Code (NEC)	2017-NFPA 70	Building Height
Florida Fire Protection Code (FFPC)	Seventh Edition	40 ft
NFPA1	2018	Number of Occupants
NFPA101	2018	100 sf / Occupant
Alteration	Level 3	337 Occupants
Design Wind Speed	140 MPH - Ultimate	Egress Width
Importance Factor Risk Category	II	2' / Occupant
Wind Factor	1.0	Minimum Corridor Width
Internal Pressure Coefficient	+/- .18	44"
Building Exposure	B	Minimum Stair Width
Occupancy Group	B	44"
Construction Type	Type III - B	Minimum Clear of Exit Doors
Fire Protection Sprinkler System	NOT Included in design	32"
		Minimum Number of Exits First Floor
		1
		Minimum Exits Second Floor
		1
		Maximum Travel Distance to Exit
		Business Not Sprinkled
		200 ft
		Toilet
		1 / 25 Occupants
		2
		Lavatory
		1 / 40 Occupants
		2
		Water Cooler
		1 / 100 Occupants
		1
		Service Sink
		1
		Assumed Soil Bearing
		2,000 psf
ADA Compliance		
A.	Provide access to all entries and exits to the building as per Florida Building Code - Accessibility.	
B.	All equipment grips, handles or other means of operation to be used by occupants to control lighting, heating/ventilation/air conditioning, plumbing, toilet accessories, etc. shall be a minimum of 36" and a maximum of 48" above finish floor.	
C.	All plumbing controls shall have a maximum operating force of 5lb/sf.	
D.	All exposed hot water supply and drain pipes at handicapped accessible lavatory and sinks shall have an insulated cover.	

Location Map

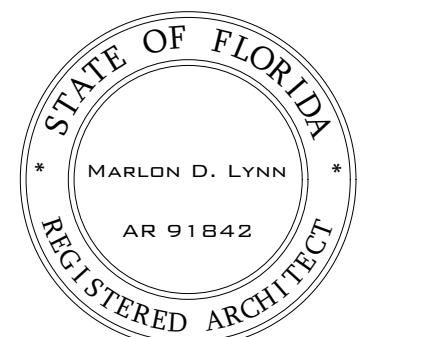


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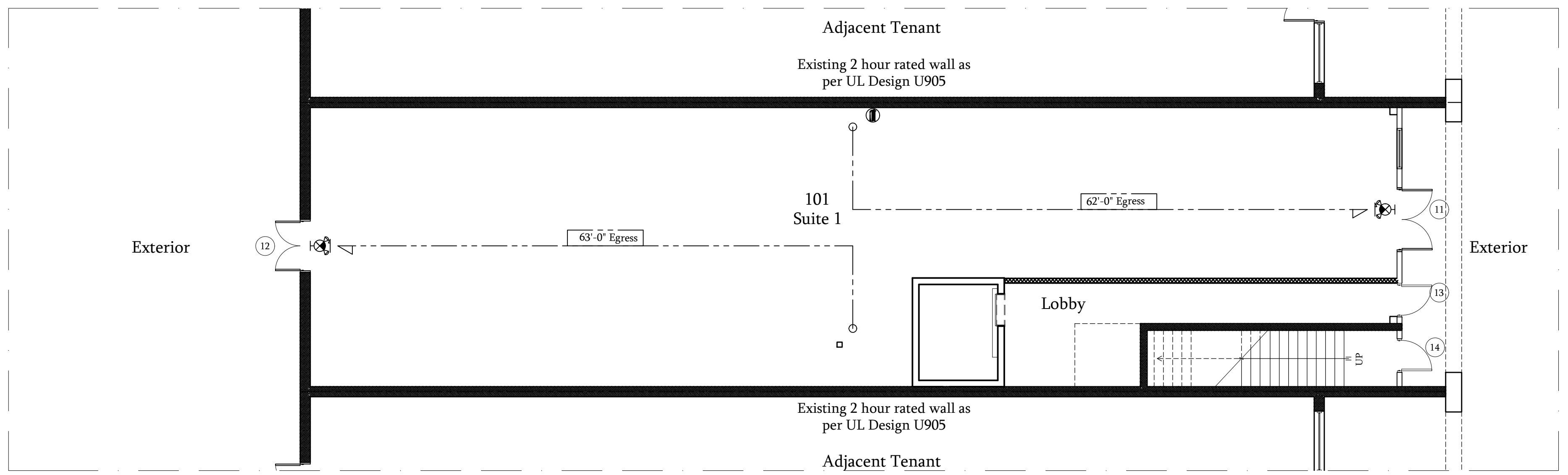
Project number 20.025

Date October 12, 2020

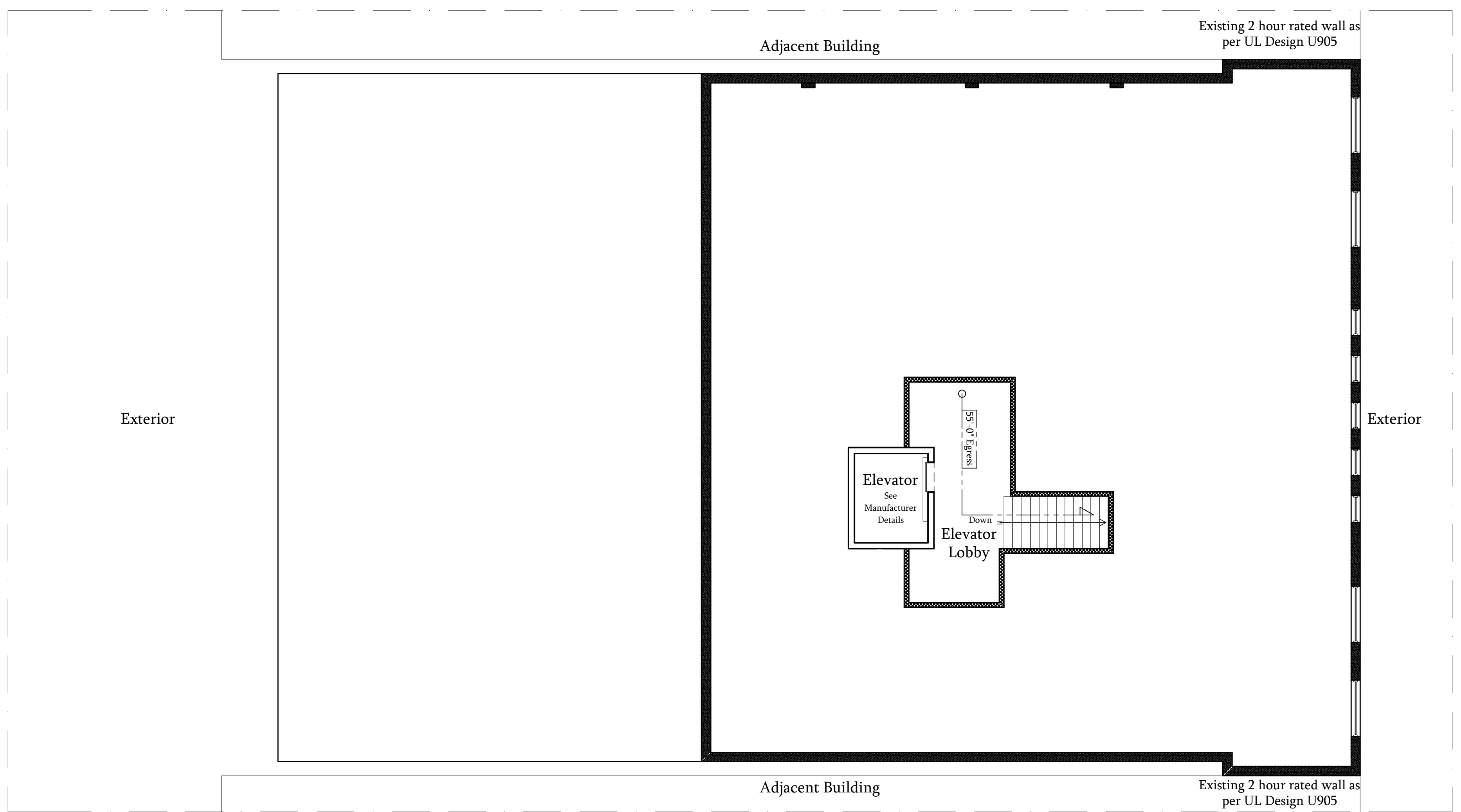
No.	Description	Date

Cover Sheet

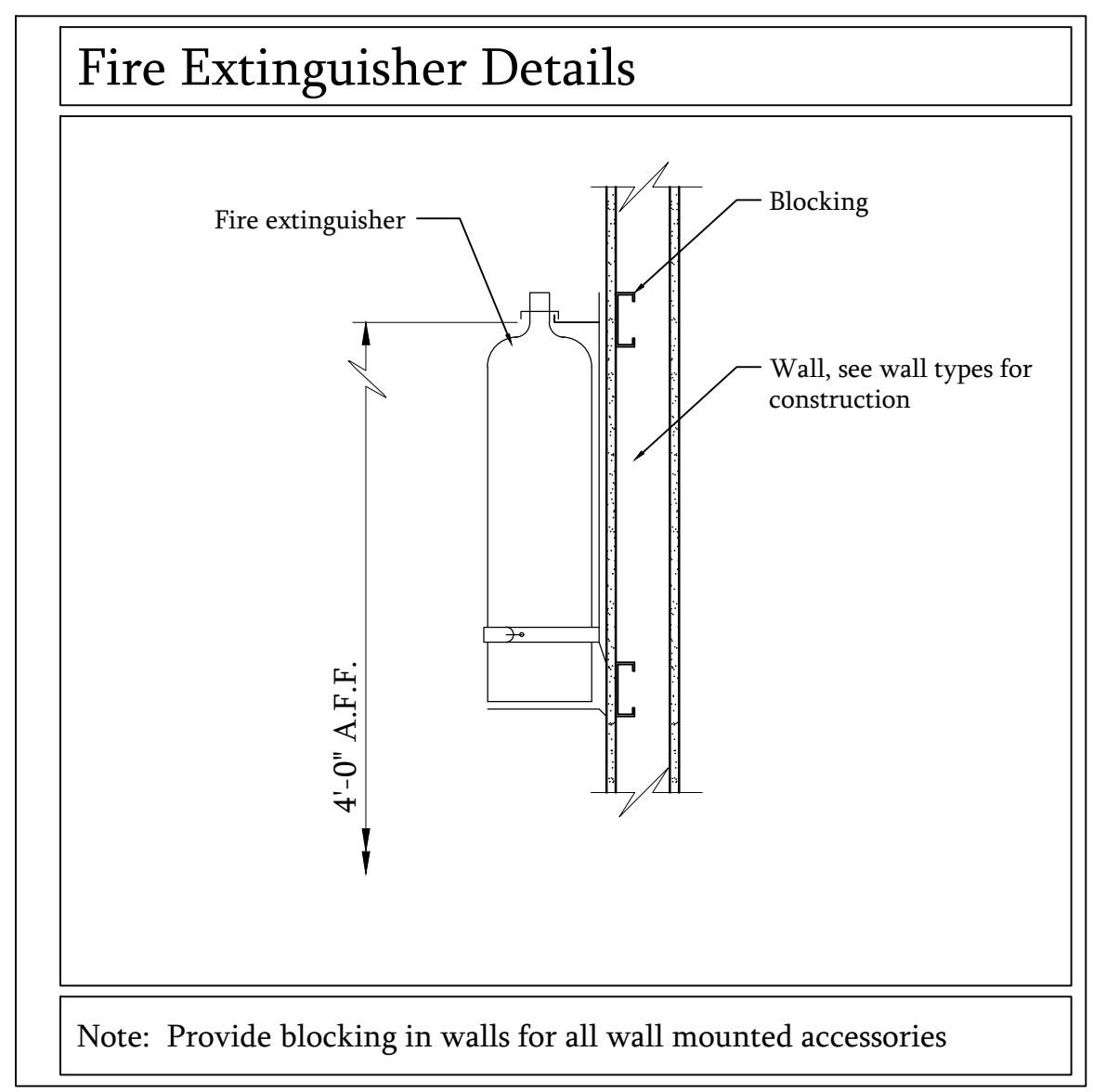
G1.11



First Floor Life Safety Plan
Scale: 1/8" = 1'-0"



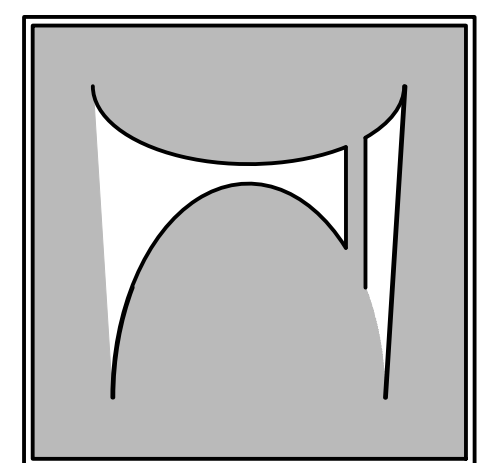
Second Floor Life Safety Plan
Scale: 1/8" = 1'-0"



Life Safety Legend

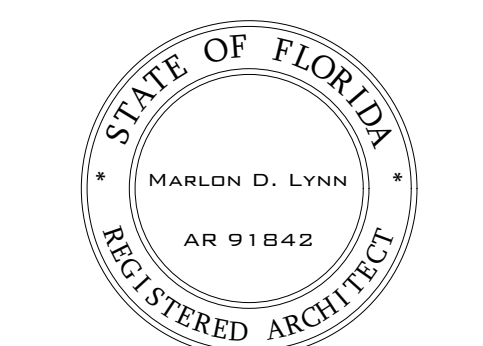
- Means of egress - Distance of travel
- Fire Extinguisher - Larson MP10 extinguisher - mount with top at 48" A.F.F.
- Emergency light fixture with battery backup - wall mounted
- Exit sign / Emergency light combo - wall mounted (directional arrow optional)
- Exit sign - wall mounted (directional arrow optional)
- Exit sign / Emergency light combo - ceiling mounted (directional arrow optional)
- Exit sign - ceiling mounted (directional arrow optional)
- Wall type
- Millwork detail
- 2 hour fire rated wall system - see UL detail, sheet LS2.11
- Existing fire rated wall system
- EX Existing to remain

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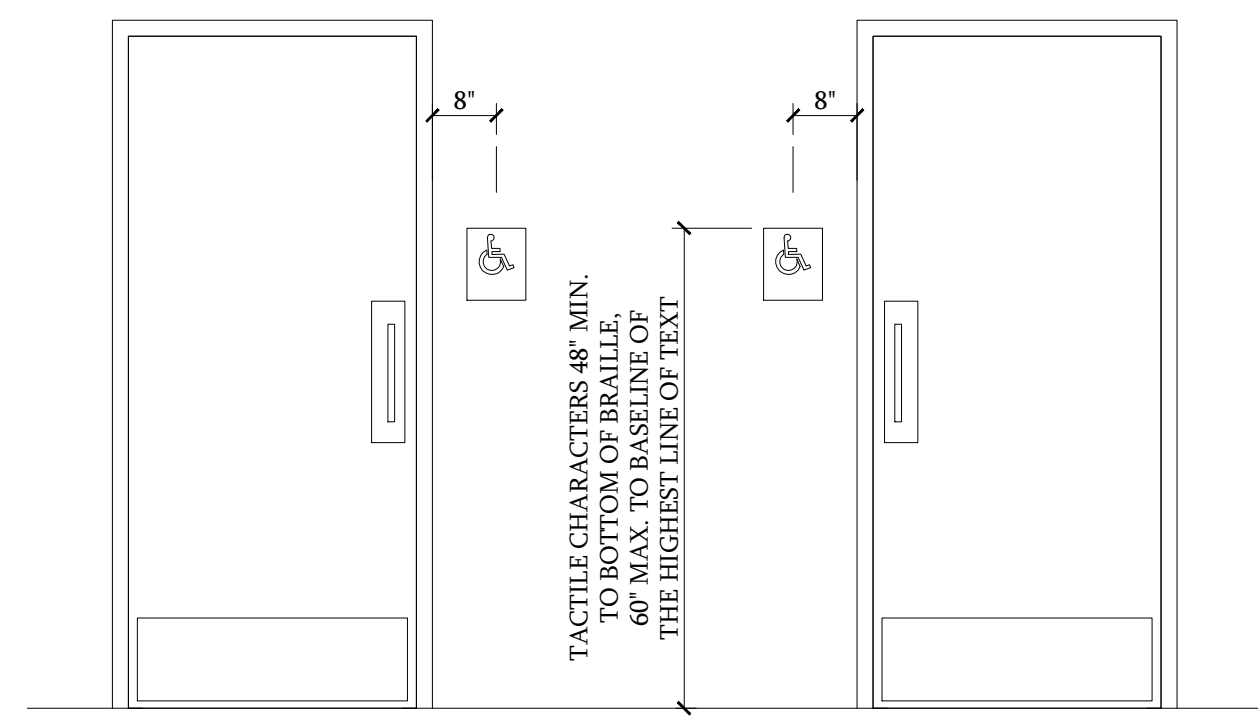
No.	Description	Date

Life Safety Plans

LS1.11

ADA Accessible Restroom Doors

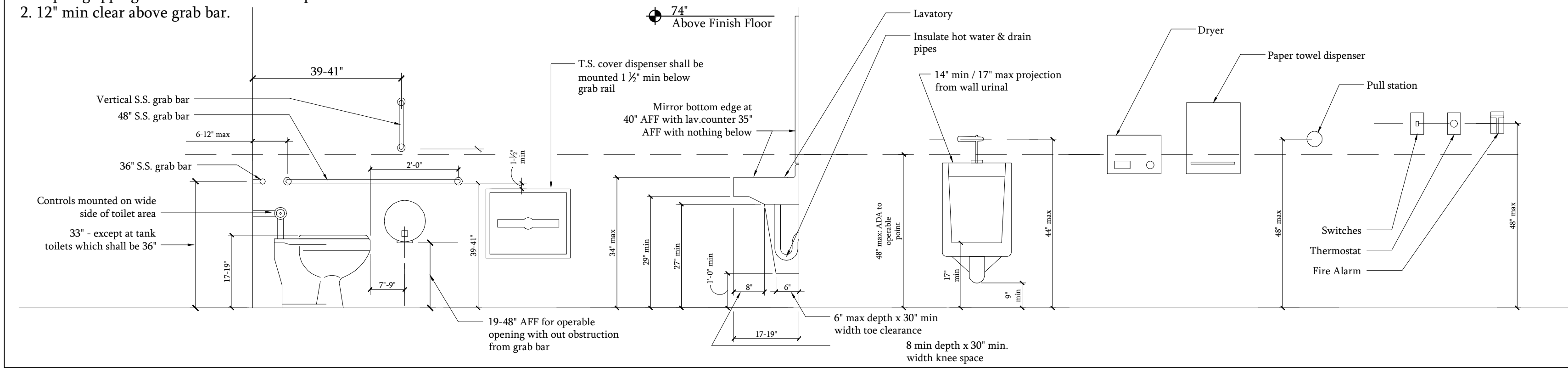
Scale: NTS



ADA Accessible Restroom Mounting Hgts. & Clearances

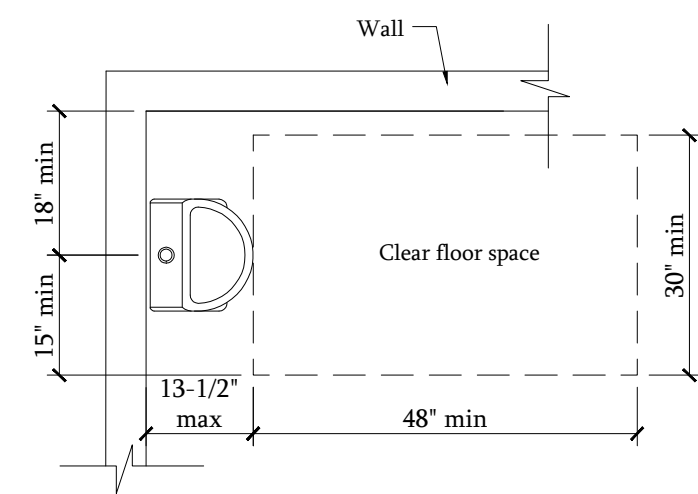
Scale: NTS

- Notes:
 1. Top of gripping surface 33-36" max to top of the bar. See notes below.
 2. 12" min clear above grab bar.



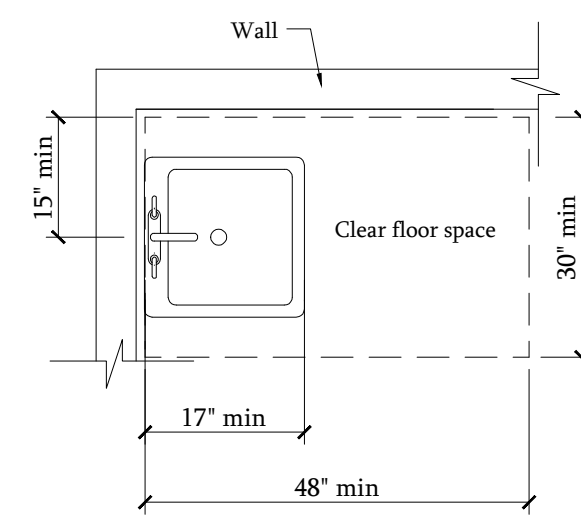
ADA Accessible Urinal

Scale: NTS



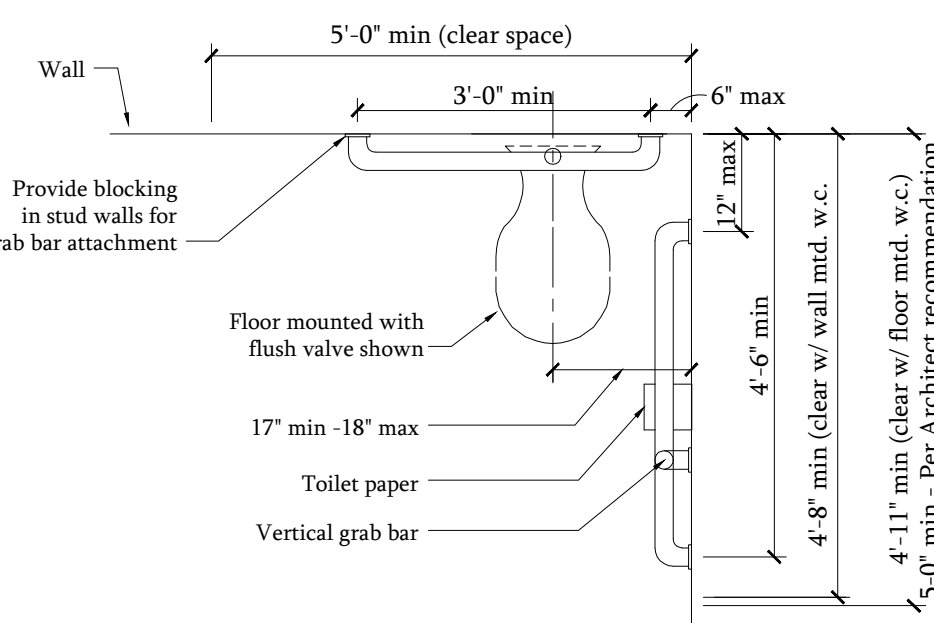
ADA Accessible Lavatory

Scale: NTS



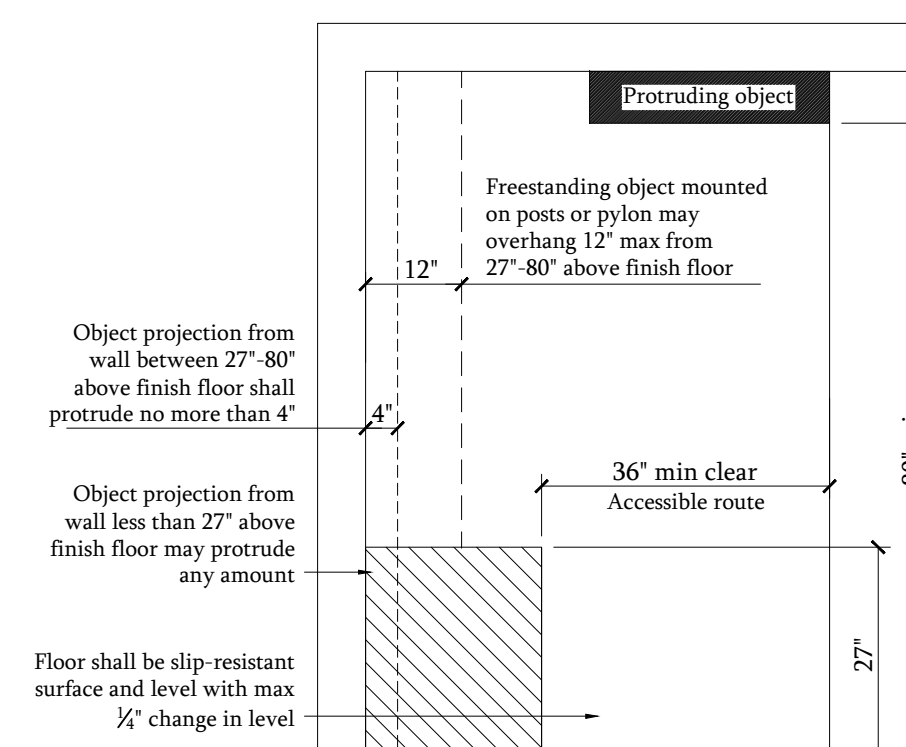
ADA Accessible Toilet Layout

Scale: NTS



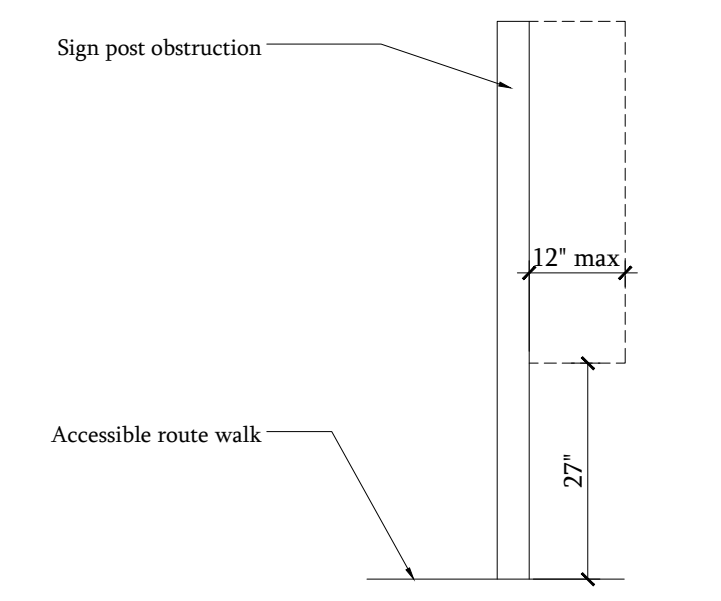
ADA Access Route Clearances

Scale: NTS



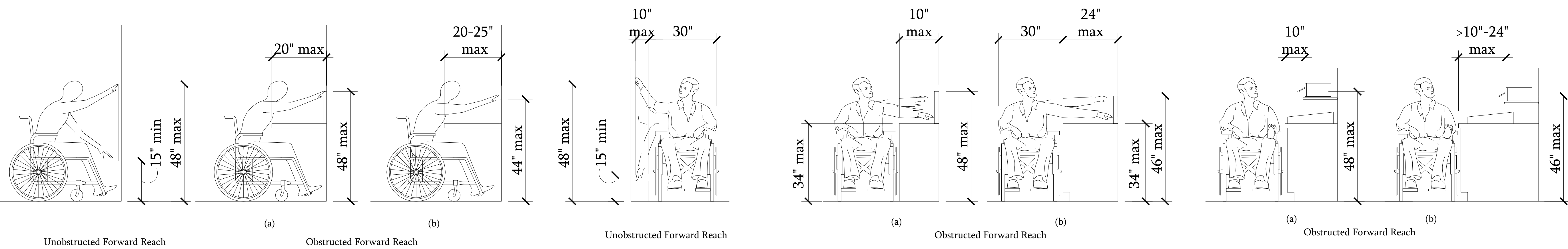
ADA Protruding Hazards

Scale: NTS



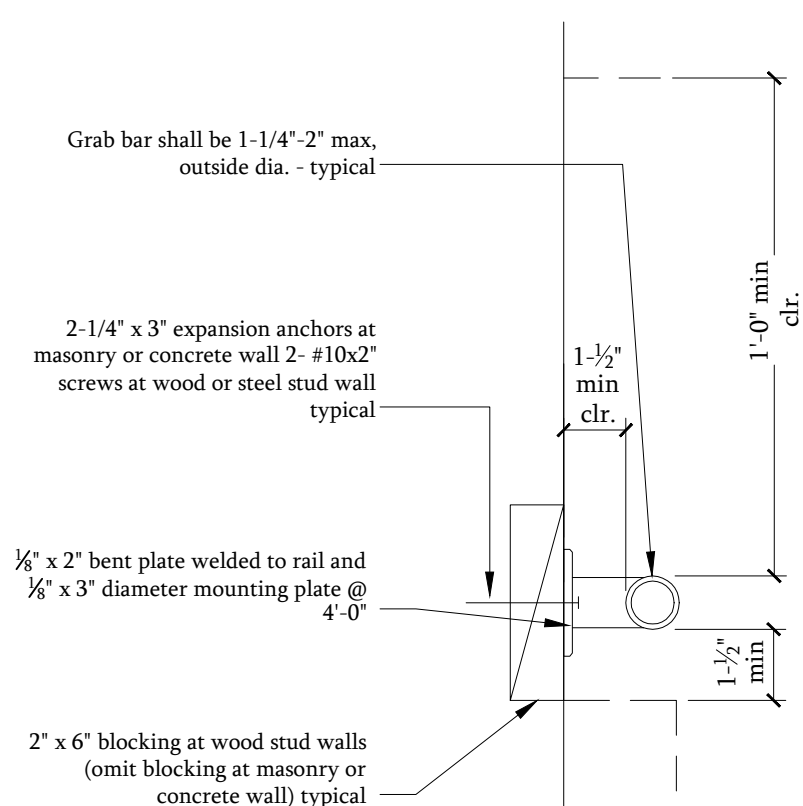
ADA Reach Ranges

Scale: NTS



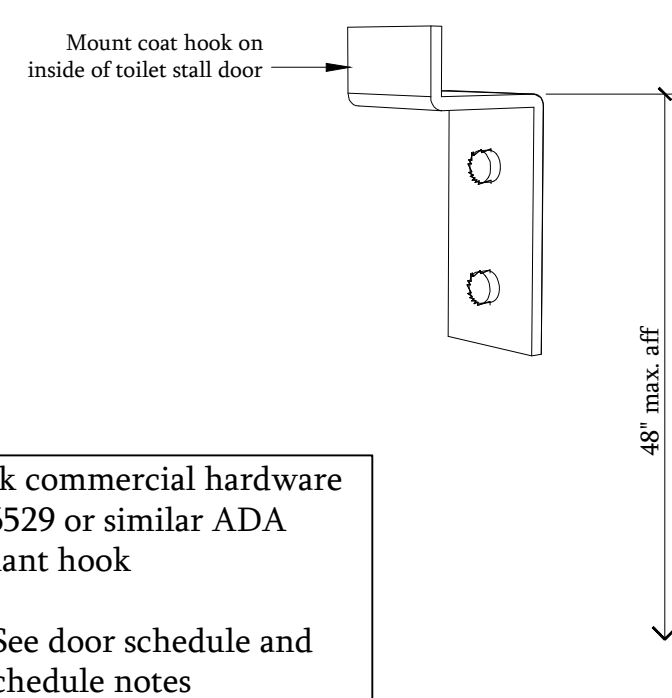
ADA Grab Bar

Scale: NTS



ADA Accessible Restroom Doors

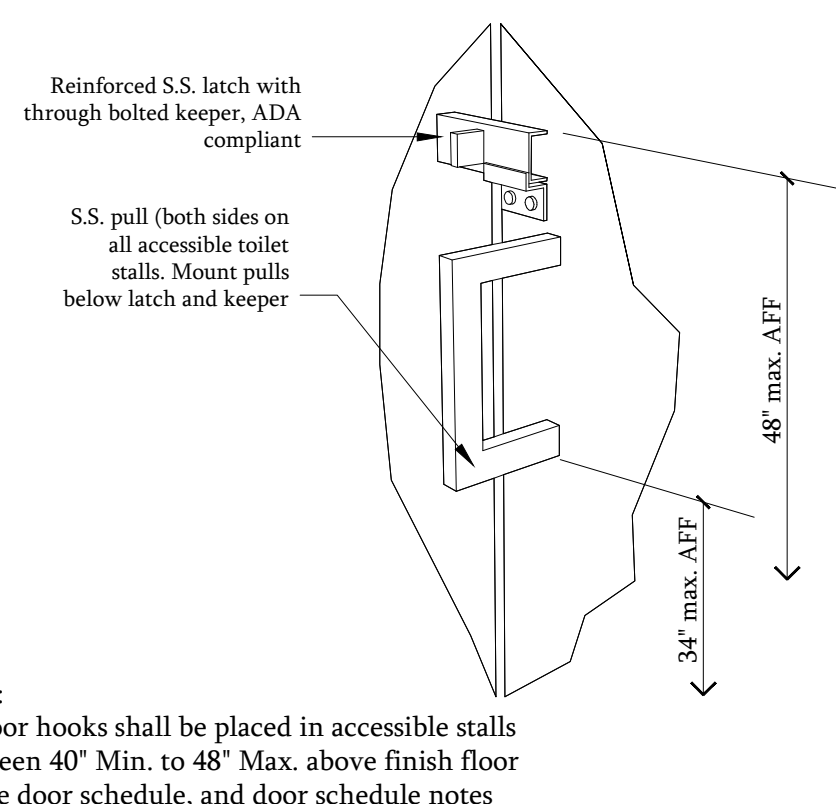
Scale: NTS



Bobrick commercial hardware #039-6529 or similar ADA compliant hook
 Note: See door schedule and door schedule notes

ADA Partition Door Latch Pull

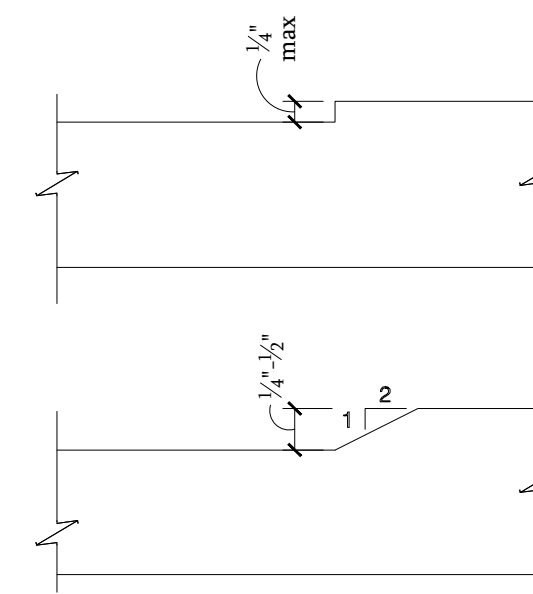
Scale: NTS



- Notes:
 1) Door hooks shall be placed in accessible stalls between 40" Min. to 48" Max. above finish floor
 2) See door schedule, and door schedule notes

ADA Access Changes In Level

Scale: NTS

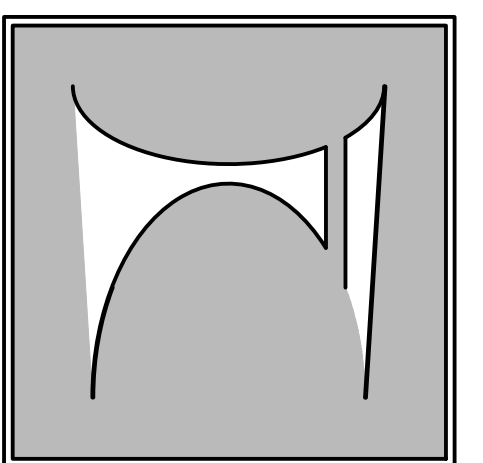


General ADA Notes

Scale: NTS

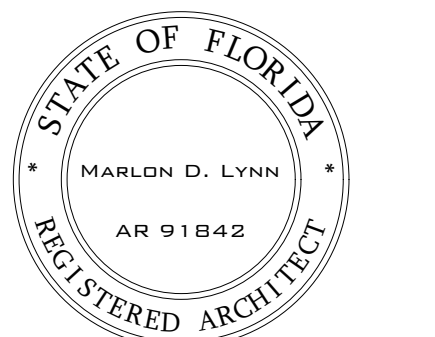
- Indicated dimensions, heights, depths, areas and other graphic information are provided as minimums that must be maintained.
- 60" turning space
 - Permitted overlap limited to 1 arm of T-shaped space.
 - Can overlap fixture & door clearance.
 - Door can swing into turning space a maximum of 12".
- Restroom, in general, door swing must be outside of the fixture clear floor space, however a door can swing into fixture clear floor space if wheelchair space 30" x 48" is provided beyond the door swing.
- Toilet room must allow for side transfer - 42" between fixtures.

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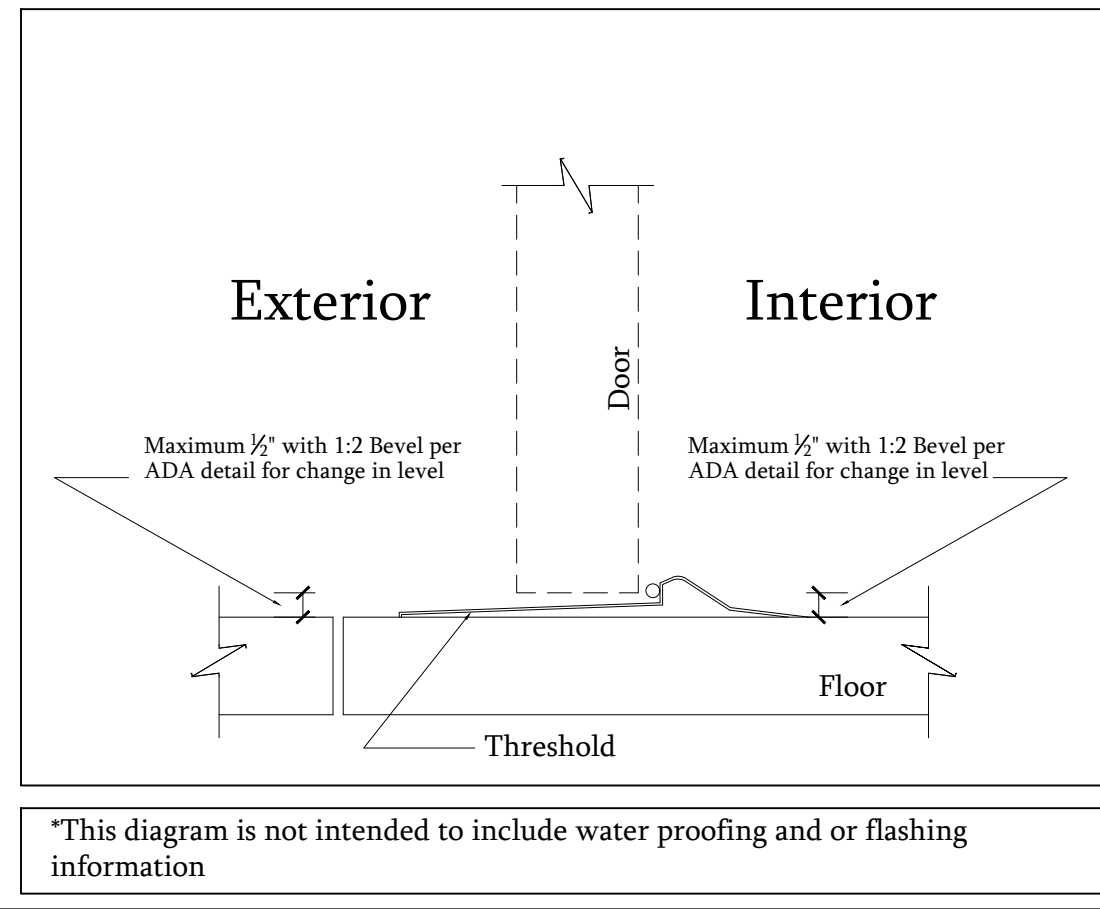
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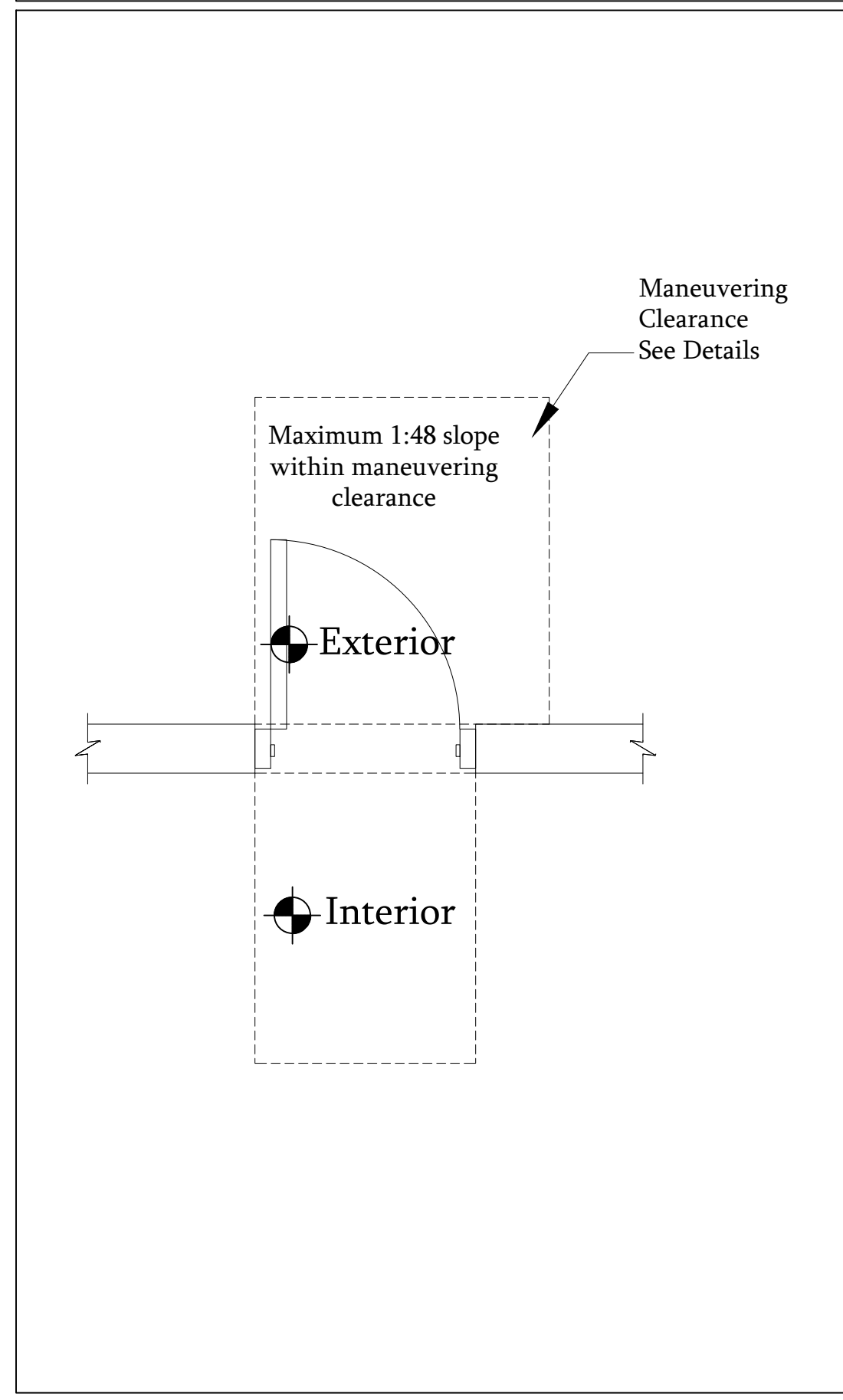
ADA Details 1

LS2.11

Threshold Changes In Level Scale: NTS

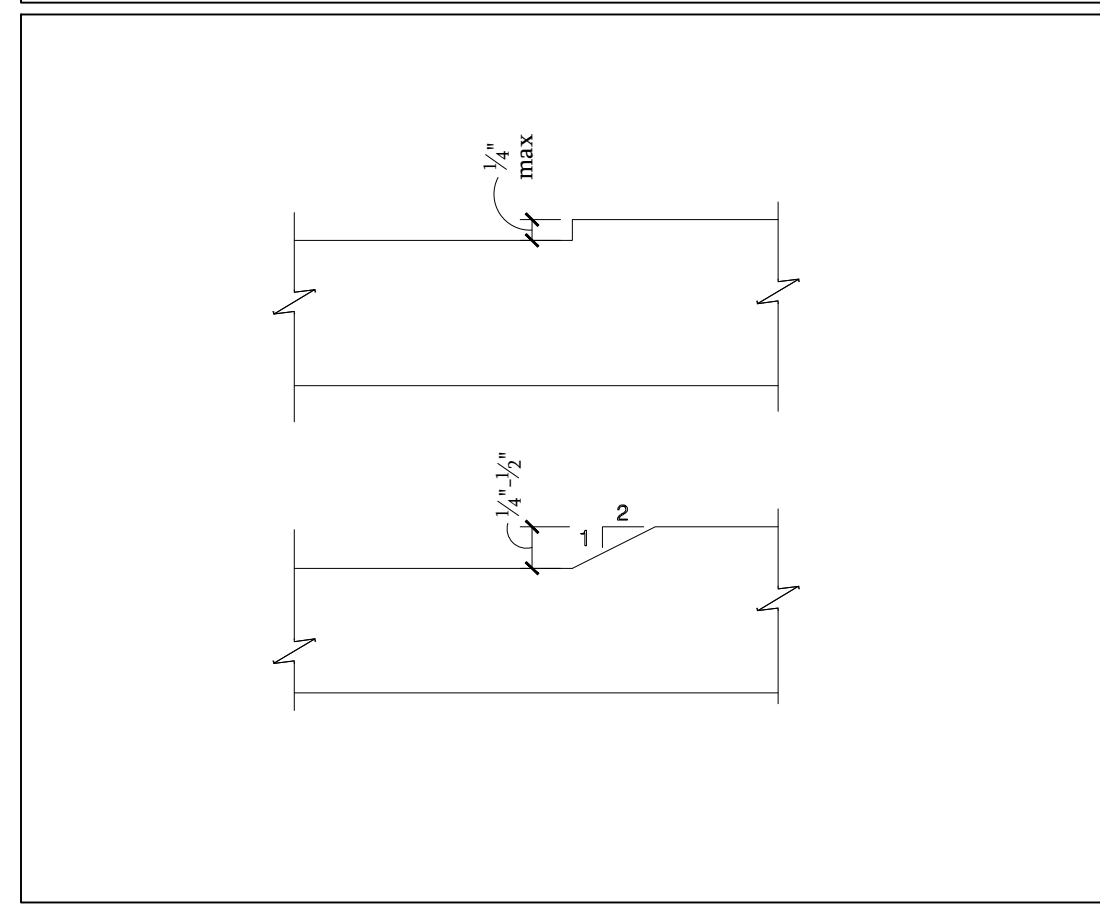


Clearance Area Slopes Scale: NTS

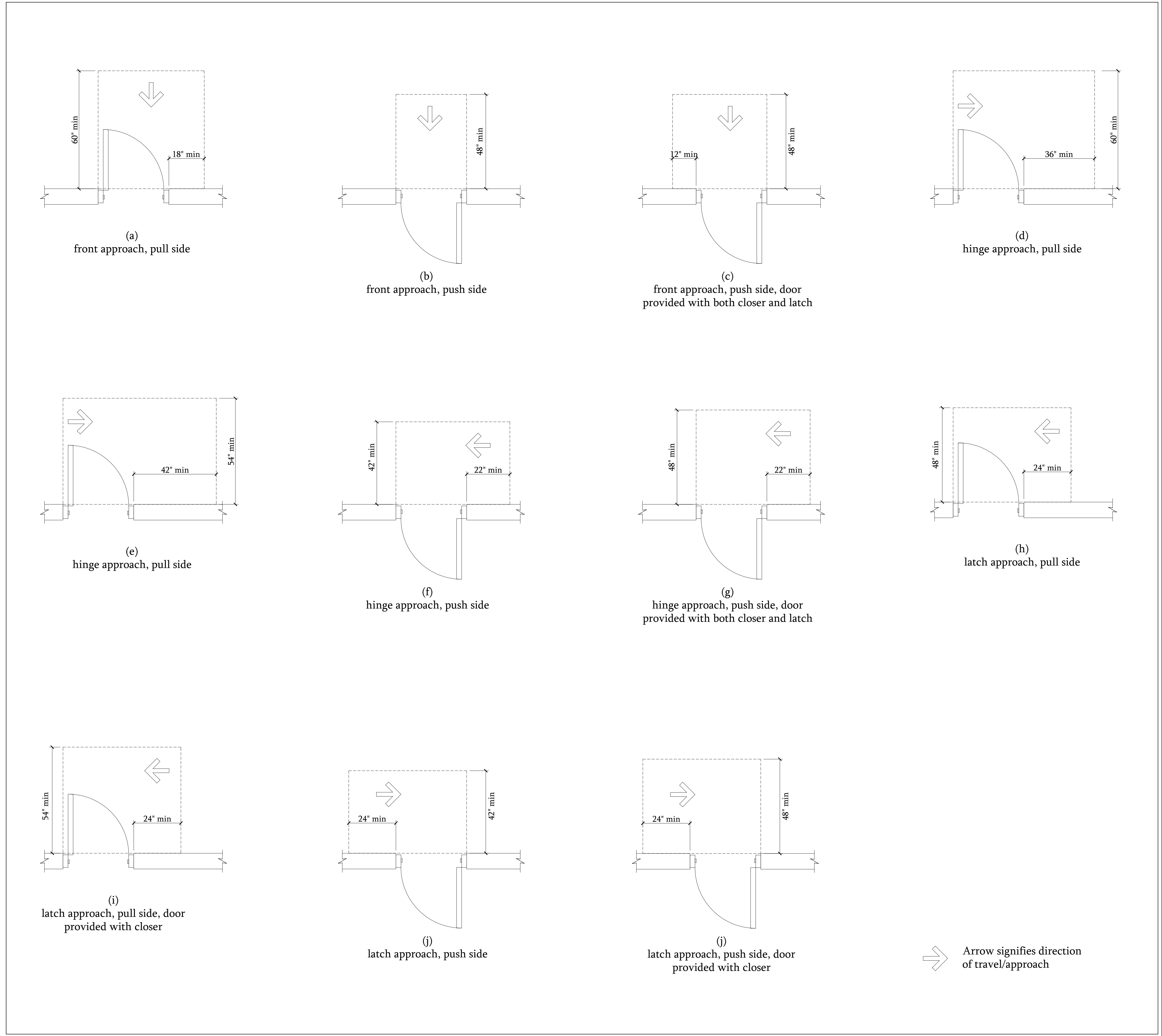


* Maximum Elevation Difference between Interior and Exterior 1/4" with 1/4" threshold or 0" with 1/2" threshold
 * Change in level is not allowed within Maneuvering Clearances

ADA Access Changes In Level Scale: NTS

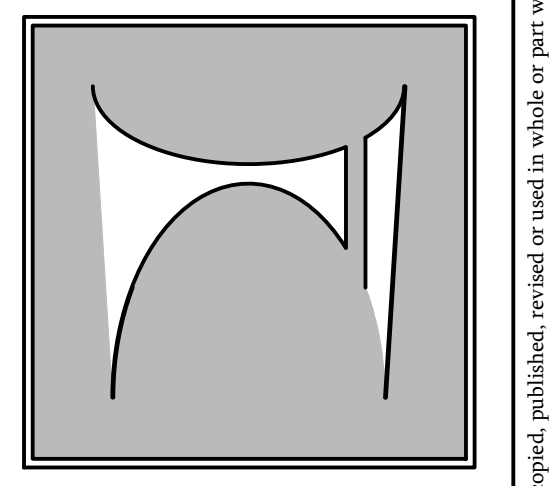


Maneuvering Clearances at Manual Swinging Doors and Gates Scale: NTS

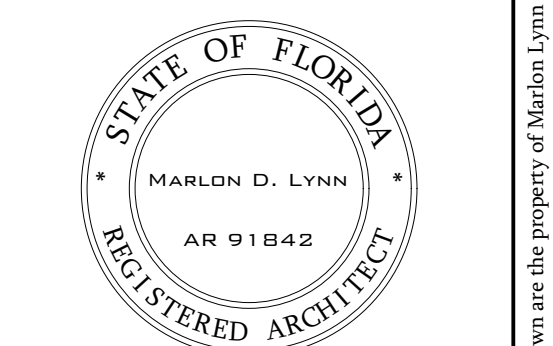


➔ Arrow signifies direction of travel/approach

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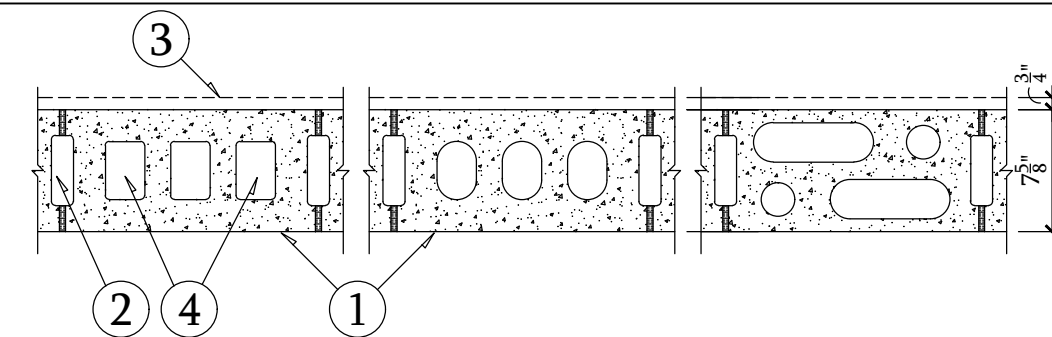
No.	Description	Date

ADA Details 2

LS2.12

UL Design

U905



Design No. U905
April 09, 2018
Bearing Wall Rating - 2 HR.
Nonbearing Wall Rating - 2 HR.

1. Concrete Blocks* — Various designs. Classification D-2 (2 hr). See Concrete Blocks category for list of eligible manufacturers.
 2. Mortar — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
 3. Portland Cement Stucco or Gypsum Plaster — Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
 4. Loose Masonry Fill — If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
 5. Foamed Plastic* — (Optional-Not Shown) — 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).
ATLAS ROOFING CORP. — "EnergyShield Pro Wall Insulation", "EnergyShield Pro 2 Wall Insulation", "EnergyShield CGF Pro and EnergyShield Ply Pro"
CARLISLE COATINGS & WATERPROOFING INC. — Type R2+ SHEATHE
FIRESTONE BUILDING PRODUCTS CO L L C — "Enverge™ CI Foil Exterior Wall Insulation" and "Enverge™ CI Glass Exterior Wall Insulation"
HUNTER PANELS — Types Xci-Class A, Xci 286
RMAX OPERATING L L C — "TSX-8500", "TSX-8510", "Thermasheath-XP", "ECOMAXci", "Thermasheath-3", "Durasheath-3"
THE DOW CHEMICAL CO — Types Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax ci Exterior Insulation, Thermax XARMOR ci Exterior Insulation, Thermax IH Insulation, Thermax Plus Liner Panel, Thermax Heavy Duty Plus (HDP) and TUFF-R™ ci Insulation
5A. Building Units — As an alternate to Items 5, min. 1-in thick polyisocyanurate composite foamed plastic insulation boards, nom. 48 by 48 or 96 in.
RMAX OPERATING L L C — "Thermasheath-SI", "ECOBASEci", "ThermaBase-CI"
- * Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

System No. W-L-1054
F Ratings — 1 and 2 Hr (See Items 1 and 3)
T Rating — 0 Hr
L Rating At Ambient — Less Than 1 CFM/Sq Ft
L Rating At 400 F — 4 CFM/Sq Ft

W-L-1054

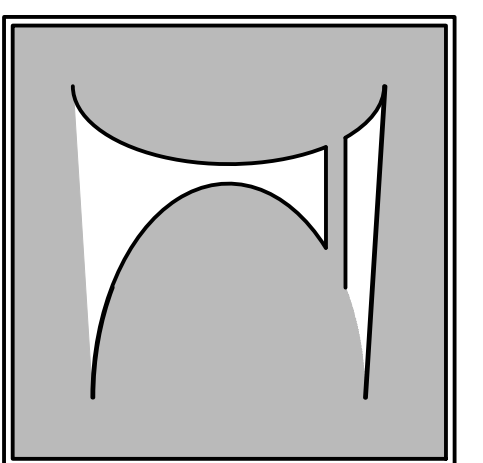
SECTION A-A

1. Wall Assembly — The 1 or 2 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:
 - A. Studs — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 2-1/2 in. wide and spaced max 24 in. OC. When steel studs are used and the diam of opening exceeds the width of stud cavity, the opening shall be framed on all sides using lengths of steel stud installed between the vertical studs and screw-attached to the steel studs at each end. The framed opening in the wall shall be 4 to 6 in. wider and 4 to 6 in. higher than the diam of the penetrating item such that, when the penetrating item is installed in the opening, a 2 to 3 in. clearance is present between the penetrating item and the framing on all four sides.
 - B. Gypsum Board* — 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 32-1/4 in. for steel stud walls. Max diam of opening is 14-1/2 in. for wood stud walls.
2. Through-Penetrants — One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the firestop system. The annular space shall be min 0 in. to max 2-1/4 in. Pipe may be installed with continuous point contact. Pipe, conduit or tubing may be installed at an angle not greater than 45 degrees from perpendicular. Pipe, conduit or tubing to be rigidly supported on both sides of wall assembly. The following types and sizes of metallic pipes, conduits or tubing may be used:
 - A. Steel Pipe — Nom 30 in diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - B. Iron Pipe — Nom 30 in. diam (or smaller) cast or ductile iron pipe.
 - C. Conduit — Nom 4 in diam (or smaller) steel electrical metallic tubing or 6 in. diam steel conduit.
 - D. Copper Tubing — Nom 6 in. diam (or smaller) Type L (or heavier) copper tubing.
 - E. Copper Pipe — Nom 6 in. diam (or smaller) regular (or heavier) copper pipe.
3. Fill, Void or Cavity Material* — Sealant — Min 5/8 in. thickness of fill material applied within the annulus, flush with both surfaces of wall. At the point or continuous contact locations between pipe and wall, a min 1/2 in. diam bead of fill material shall be applied at the pipe wall interface on both surfaces of wall.
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-One Sealant
*Bearing the UL Classification Mark

Hilti Firestop Systems

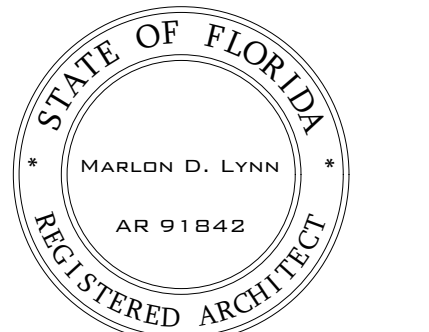
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December 04, 2002

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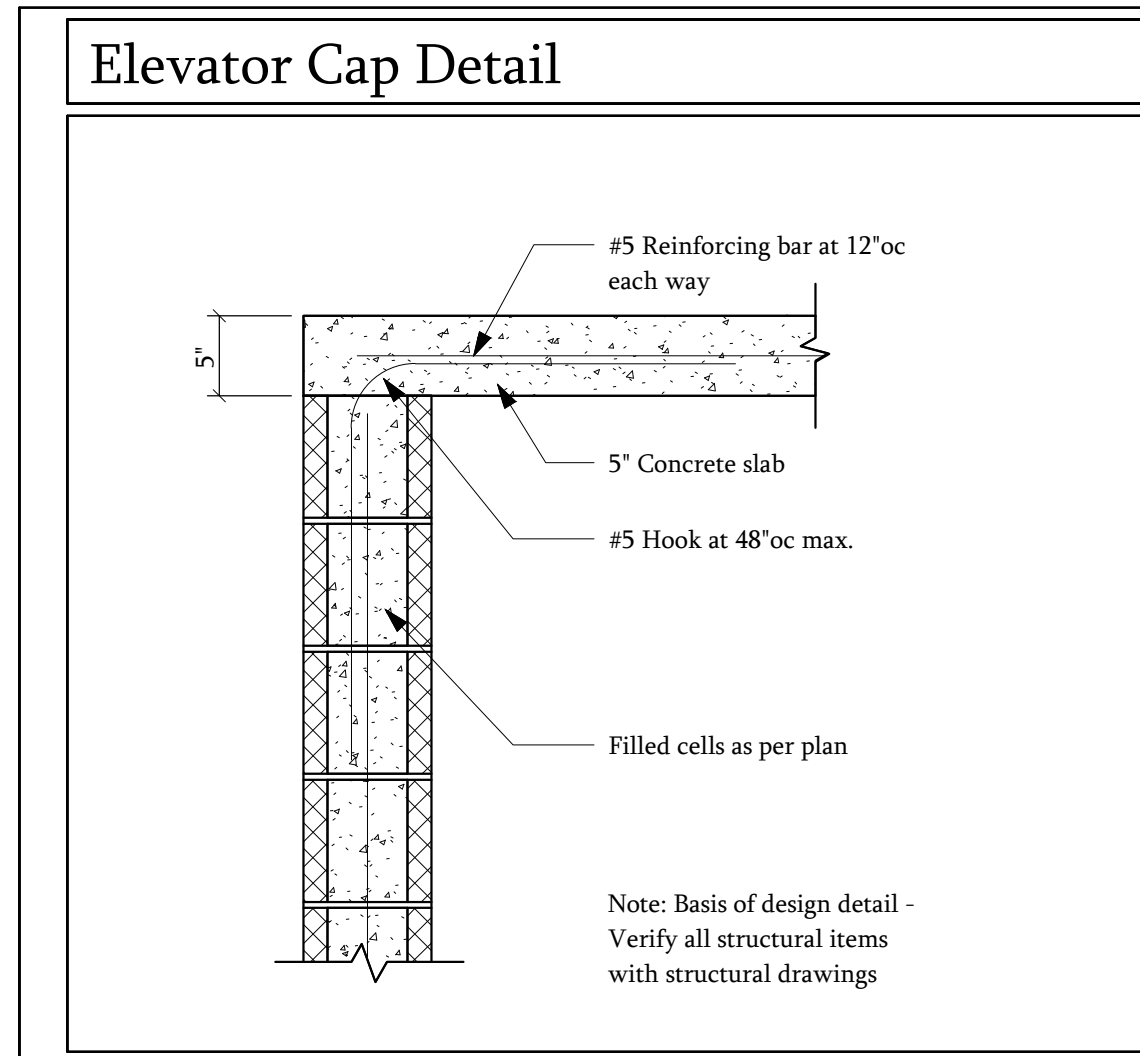
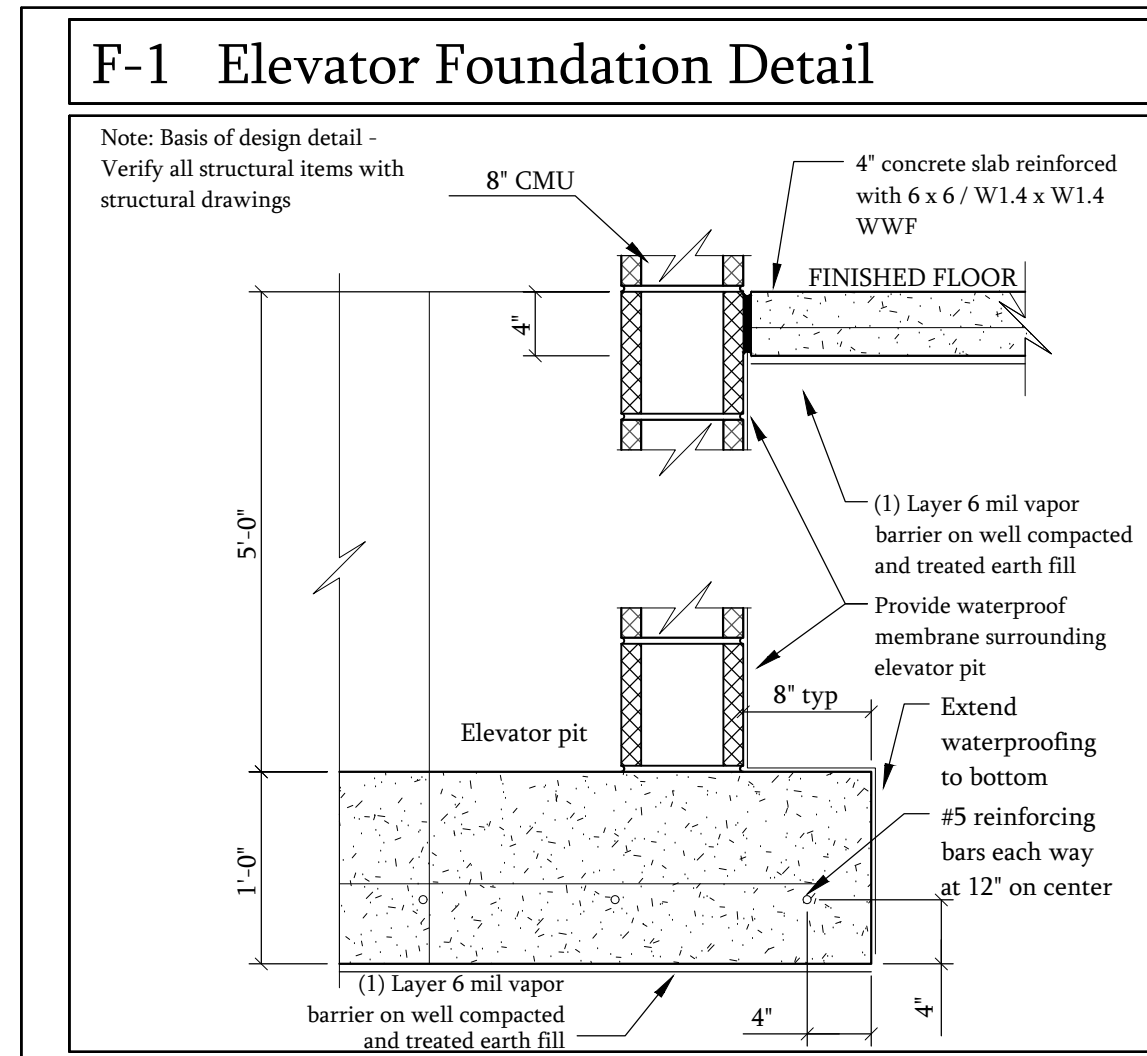
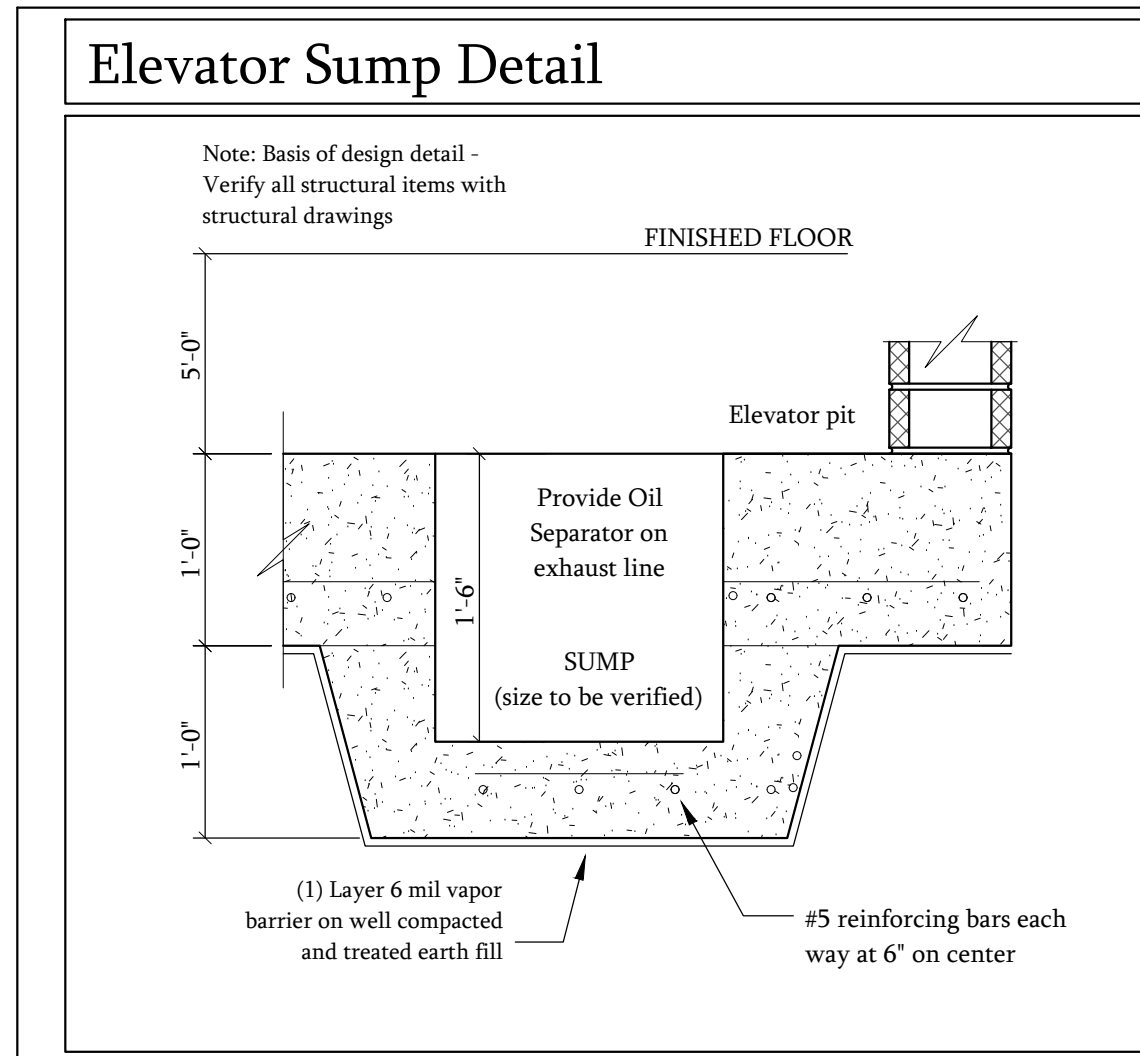
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UL Design

LS3.11



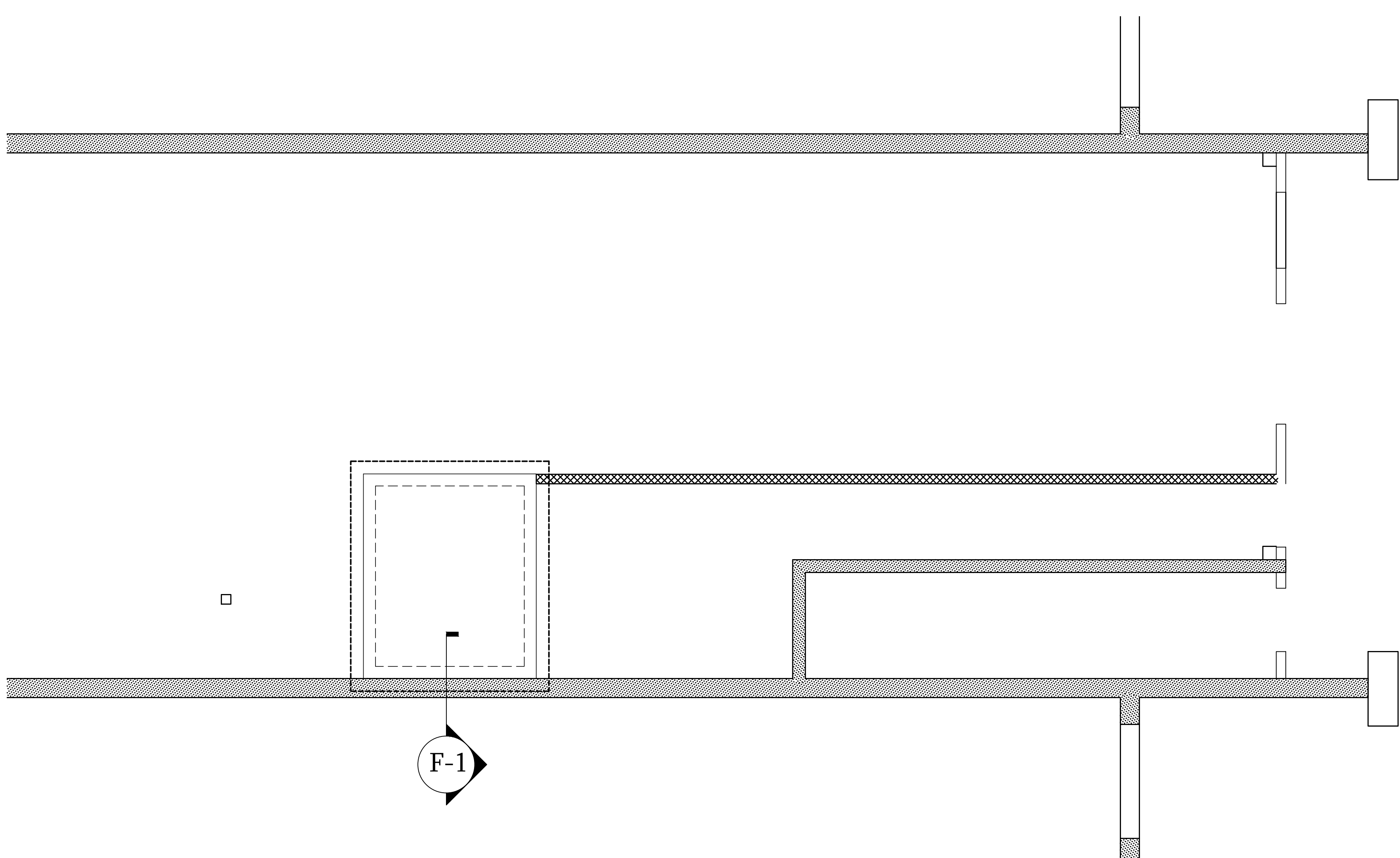
- ### Structural Notes
- General
 - Structural work shall be in accordance with FLORIDA BUILDING CODE - Seventh Edition, as adopted and supplemented by local regulations.
 - Verify all dimensions and site conditions prior to starting construction. Notify the architect/engineer of any discrepancies or inconsistencies.
 - Do not scale drawings.
 - See architectural, mechanical and electrical drawings for miscellaneous wood & steel items not shown hereon.
 - See architectural, mechanical and electrical drawings for anchored, supported and embedded items which affect the structural work. verify details and dimensions with equipment purchased.
 - Coordinate sizes and locations of openings in floors and roof with plumbing, architectural, mechanical and electrical requirements.
 - No structural member shall be cut, notched or otherwise altered unless approved in writing by the engineer of record.
 - Reference elevation of first floor equals 0'-0". See civil for actual elevation.
 - No changes in construction from that shown in the shop drawings reviewed by the architect/engineer shall be made without the specific written approval of the engineer of record.
 - Submittals shall conform to requirements of contract documents, and shall be checked and marked "APPROVED" by contractor prior to submittal. Non-conforming submittals will be returned without review.
 - Shop drawings shall not be reprints of contract documents.
 - Foundation
 - Compact bearing soil in accordance with procedure directed by geotechnical report.
 - Remove free water from excavations before placing concrete.
 - Place concrete for grade slabs on a 6-MIL polyethylene film vapor barrier installed on compacted soil per 2.1 above or as shown in details.
 - Provide soil poisoning under buildings for termite protection.
 - Establish and verify size and location of openings and inserts in slab with other drawings, trades, and sub-contractors prior to construction.
 - Slab saw joints not to exceed 15'-0" in each direction, unless otherwise noted, for the floor slab and provide shop drawings with the exact location of slab saw joint.
 - General contractor to coordinate all CMU control joints not to exceed 24'-0" or match slab saw joints. Provide shop drawings with the exact location of CMU wall control joints.
 - Concrete and Reinforcement
 - Concrete work shall conform to ACI specifications for structural concrete for structures & buildings, per 1.1
 - Cast-in-place concrete 28-day compressive strengths shall be as follows, unless otherwise noted:

All concrete:	3,000 psi
---------------	-----------
 - Provide concrete cover over reinforcement as follows, unless otherwise noted:

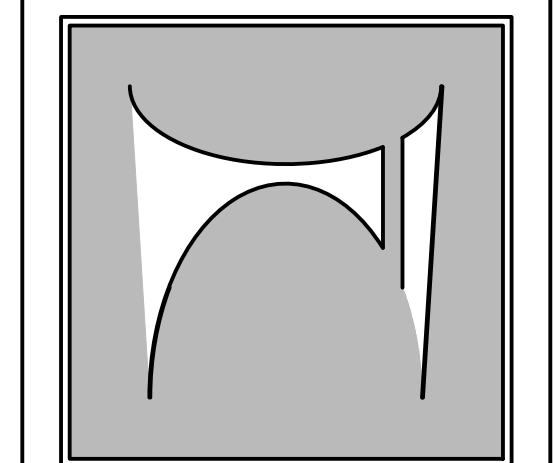
Footings	3"
----------	----
 - Reinforcing bars shall conform to ASTM A-615, Grade 60, latest revision, with supplement (S1), marked "S".
 - Where beam reinforcement is shown continuous if required, splice bottom bars over support and top bars at center of span.
 - Length of lap splices and bar embedment shall be Class B as follows:

#3/4	#5	#6	#7	#8	#9	#10	#11
Top Bars	3'-1"	3'-10"	4'-8"	6'-9"	7'-9"	8'-8"	9'-10"
Other Bars	2'-4"	3'-0"	3'-7"	5'-2"	5'-11"	6'-8"	7'-6"

 Top bars are any horizontal bars placed such that more than 12" of fresh concrete is placed in the member below the bars in any single concrete placement.
 - At changes in direction of concrete walls and tie beams, provide corner bars splice with minimum overlap of 48" bar diameter. (i.e. #5 = 30" min.)
 - Where piping penetrates concrete beams, place two #3 stirrups @ 3' o.c. each side of pipe, unless otherwise noted.
 - Provide standard hooks at discontinuous ends of top bars.
 - Concrete Masonry Unit
 - Conform to ACI building code requirements for masonry structures ACI 530/ASCE 5 & to ACI specifications for masonry ACI 530.1/ ASCE 6 & latest editions.
 - Mortar shall be TYPE M OR S.
 - Reinforce walls with ladder or truss type reinforcement equal to standard DUR-O-WAL in bed joints 9-GA 4 wire system series 200 or approved equal at 16" o.c. measured vertically unless otherwise noted place per manufacturers recommendations. Extend into pilasters, or provide dovetail anchors to secure masonry to columns.
 - Where concrete beams are installed in concrete block wall, support concrete with 6" wide continuous strips of 1/8 square mesh soft screening of PUR-O-STOP or equal centered over block work. Use of roofing felt strips will not be permitted.
 - Concrete block walls to have cell filled with grout and w/(1)#5 vertical reinforcement at 6'-0" o.c. for the first story walls and (1)#5 at 6'-0" o.c. for the second story walls; dove-tailed into beam above and beam or footing below. Bar shall be continuous and located in center of cell. Provide 2 cells at end of wall condition or corner.
 - Openings shall have block cell at each jamb filled with grout and reinforced.
 - Grout for filled cells shall conform to ASTM C476, and shall have a slump of between 8" and 10". Provide cleanouts. PUMP 4'-0" Maximum grout lifts with 60 minute delay between lifts. Grout compressive strength shall be 2,000 psi at 28 days.
 - At filled cells, lay units with full bed joints around cells.
 - Net area compressive strength of masonry (F_m) shall be at least 1500 psi.
 - All bar splices in masonry shall be 48 bar diameter typical & hooks 12 bar diameters unless otherwise noted.
 - Special inspection in all CMU work is required by a qualified inspector at contractor's expense.

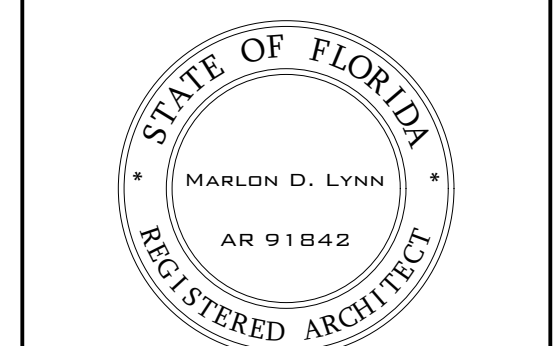


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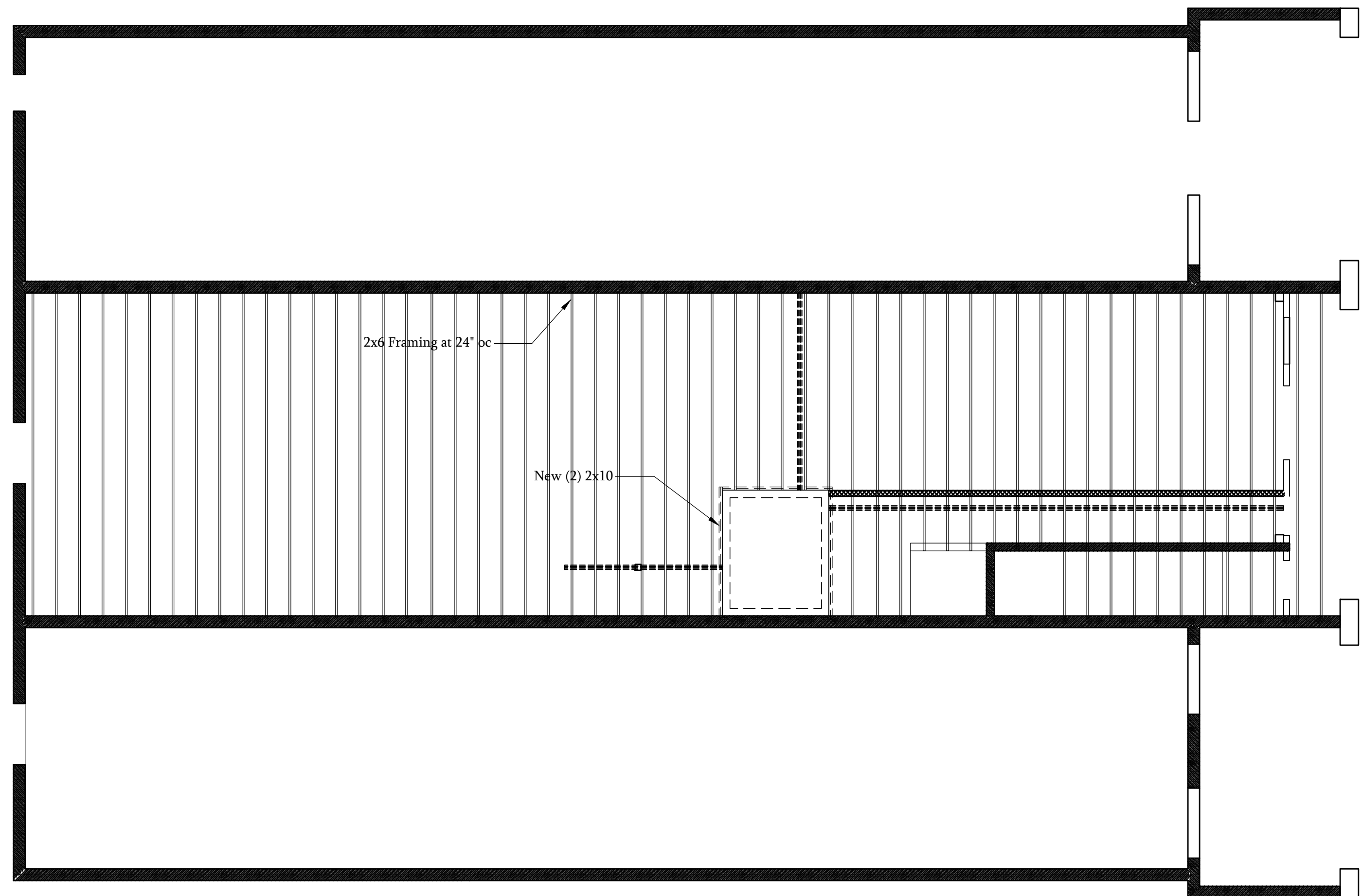
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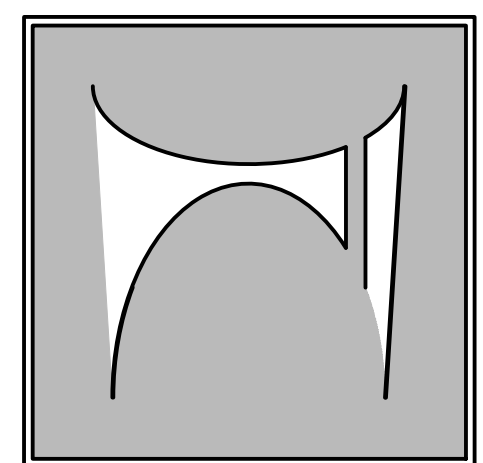
Foundation Plan

S1.11



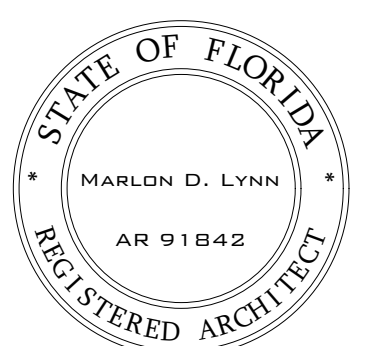
 **Second Floor Framing Plan**
Scale: 1/8" = 1'-0"

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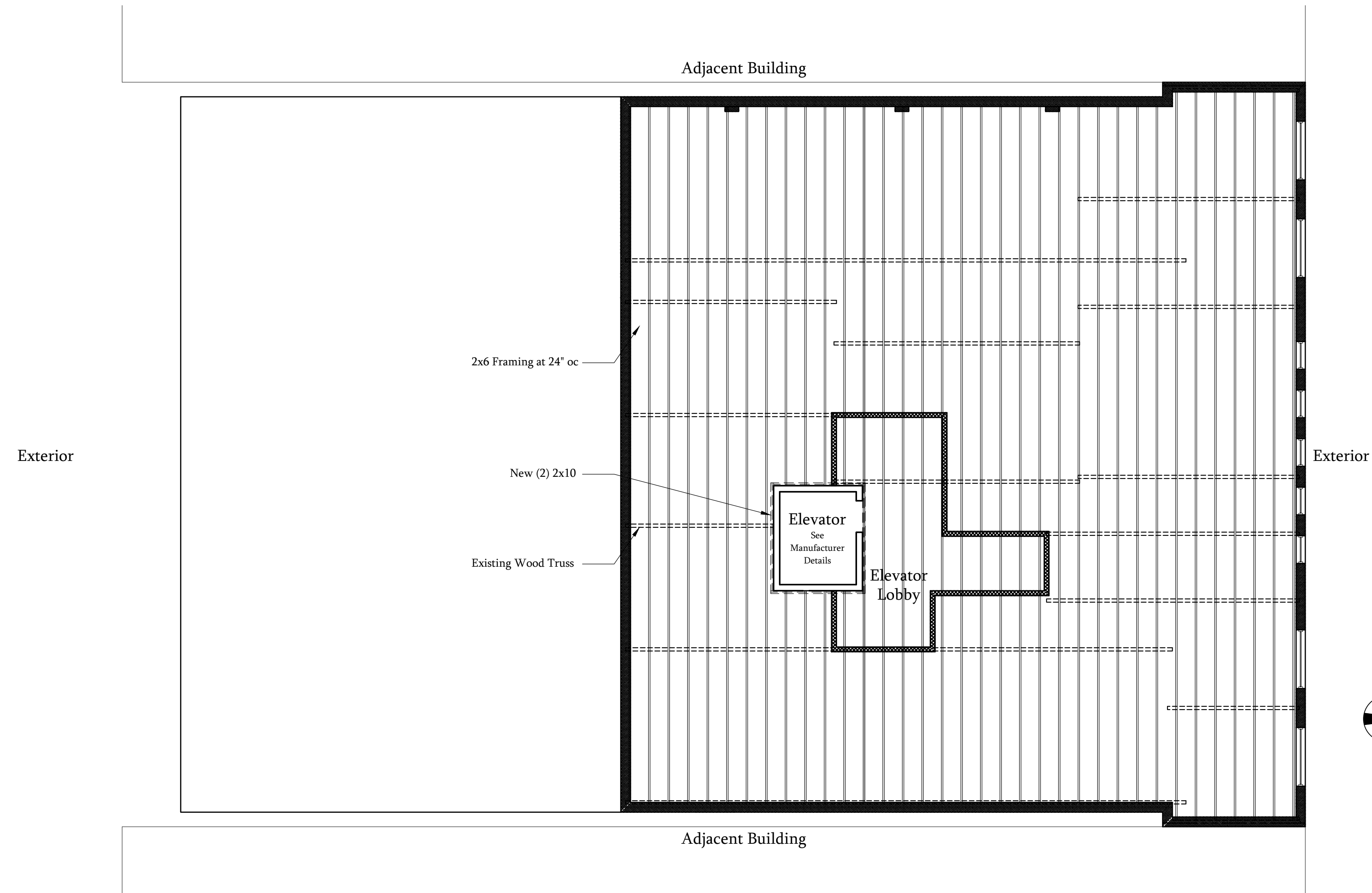
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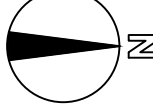
Project number 20.025
Date October 12, 2020

No.	Description	Date

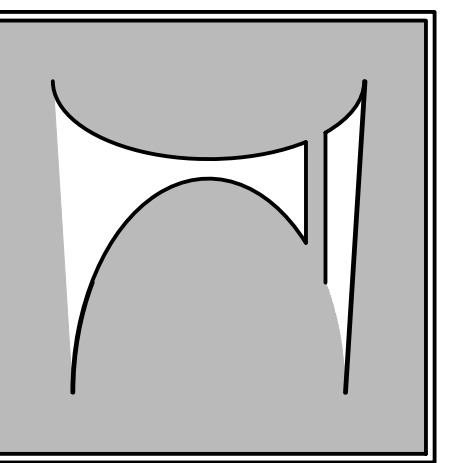
Second Floor Framing Plan

S1.21



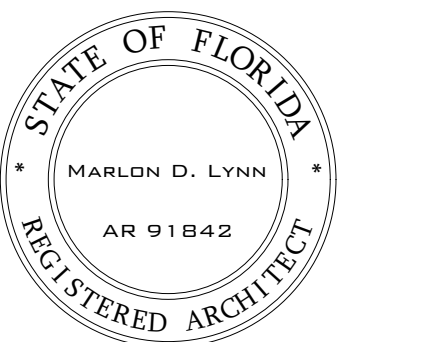
 **Roof Framing Plan**
Scale: 1/8" = 1'-0"

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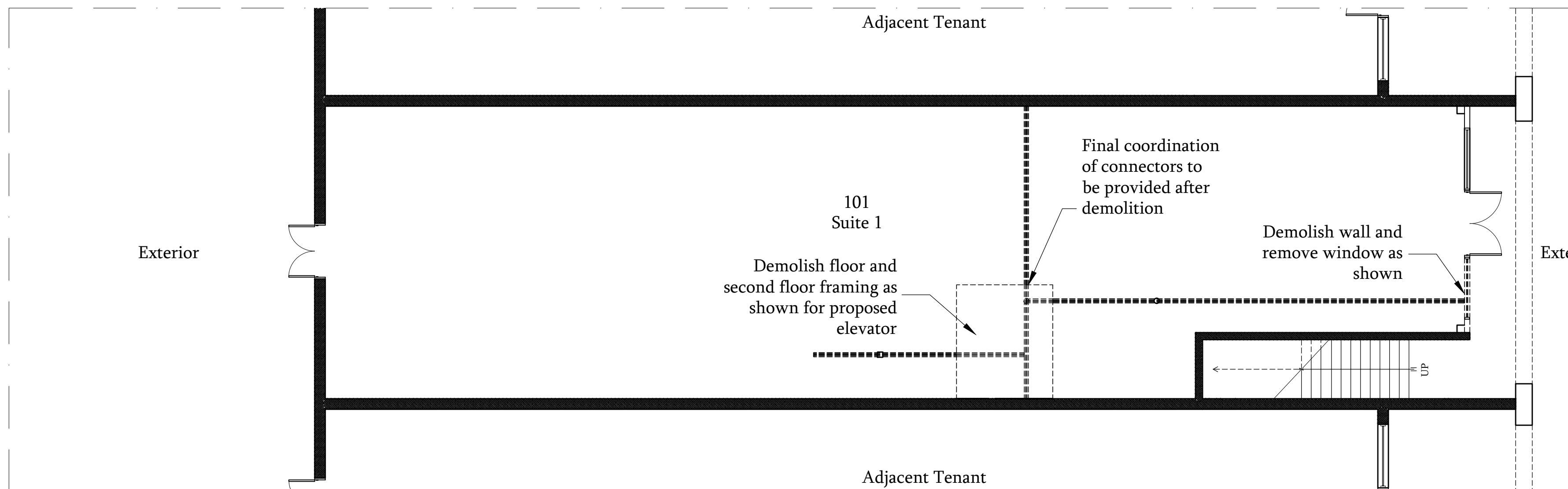
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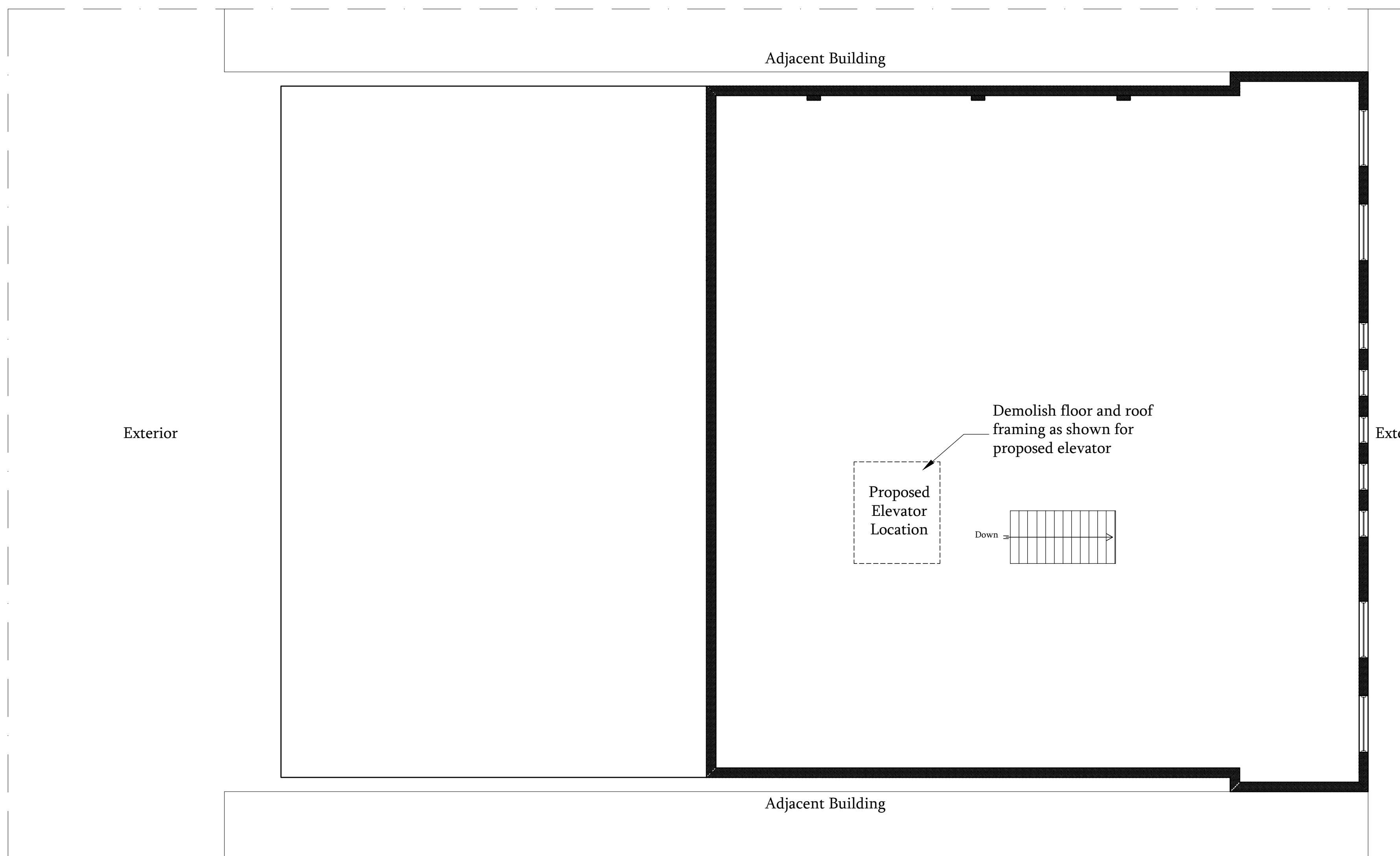
Roof Framing Plan

S1.31



First Floor Demolition Plan
Scale: 1/8" = 1'-0"

- General Demolition Notes**
- A. All existing building elements to remain at areas of demolition shall be patched and/or repaired to provide smooth, stable surface for installation of new finishes.
 - B. Finish of repaired areas shall match finish of adjacent surfaces.
 - C. Contractor shall protect all existing elements to remain during demolition and construction. Items damaged by contractor shall be replaced/repared at no cost to the owner.
 - D. Contractor shall provide temporary shoring before demolition of bearing walls.
 - E. All excavation within the building or at the perimeter shall be performed by hand only. No trenching machines will be allowed.
 - F. Minor sawcutting may be required for plumbing / restroom modification.
 - G. All existing outlets, switches and thermostats in walls to be removed are to be disconnected and relocated as needed.

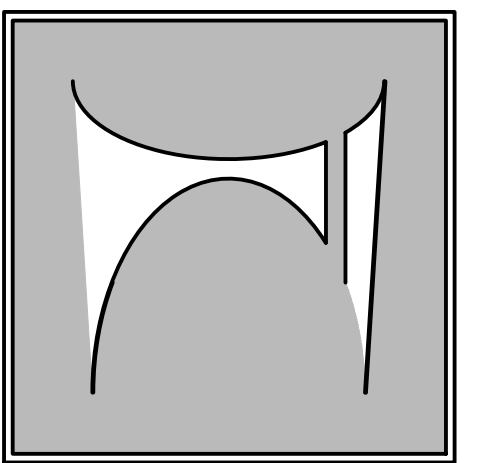


Second Floor Demolition Plan
Scale: 1/8" = 1'-0"

Demolition Legend

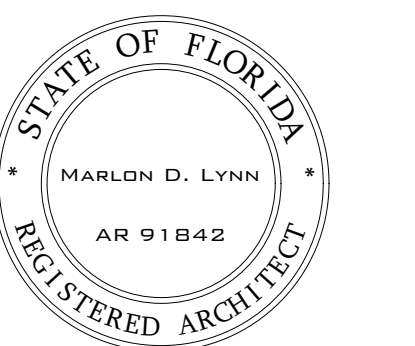
- Existing to be removed
- [Pattern] Sawcut for new plumbing - see detail "F-1" this sheet
- [Pattern] Existing exterior wall
- [Pattern] Existing stud wall
- (EX) Existing door to remain
- (EX) Existing window to remain
- EX Existing to remain

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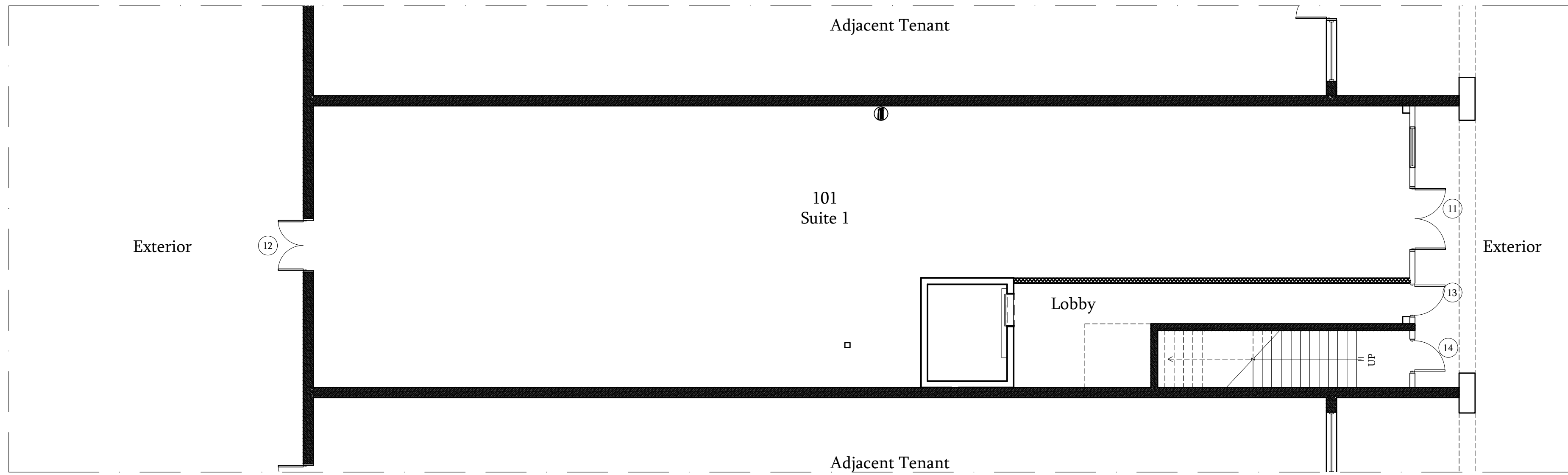
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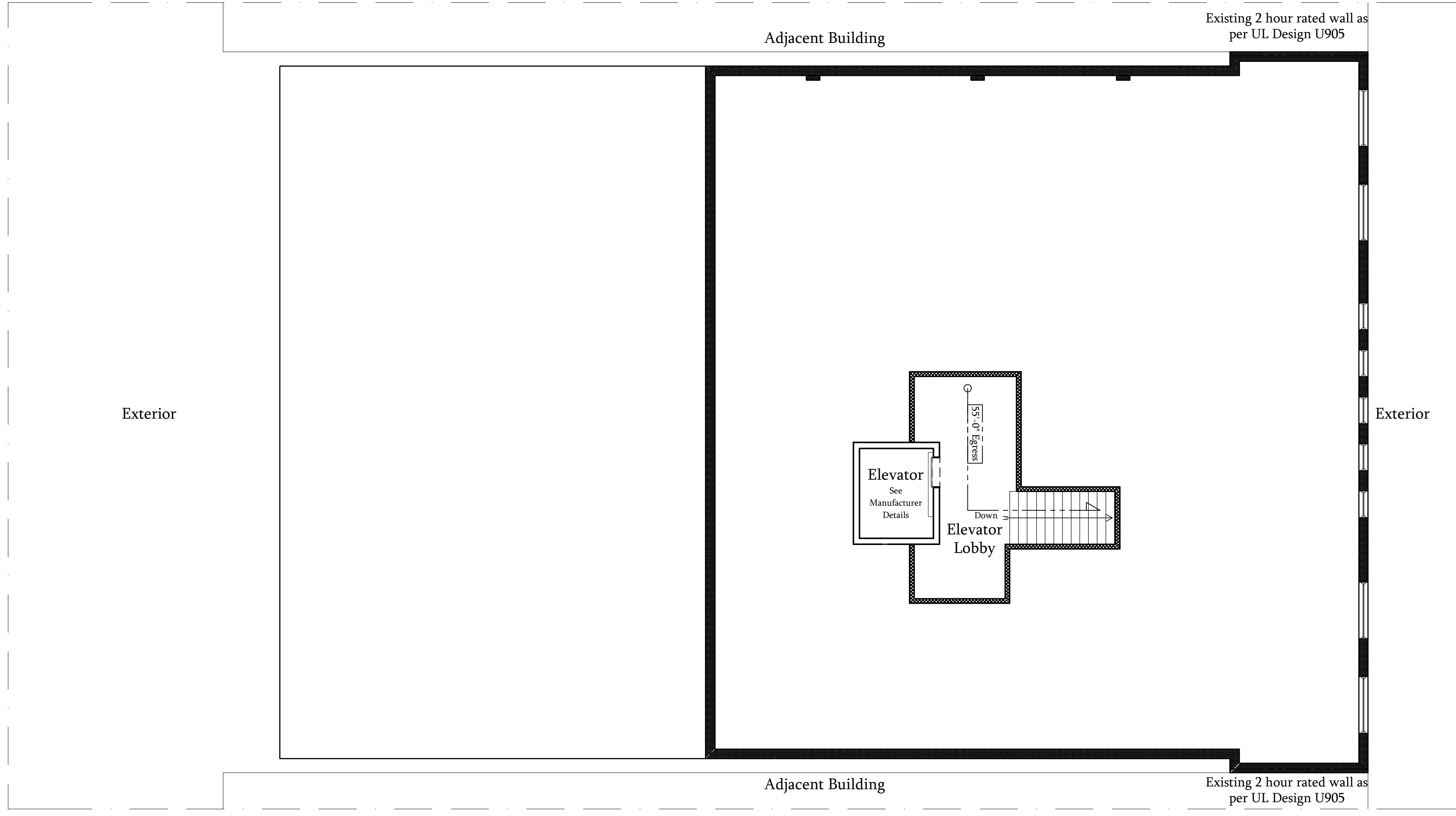
No.	Description	Date

Demolition Plans

D1.11



First Floor Plan
Scale: 1/8" = 1'-0"

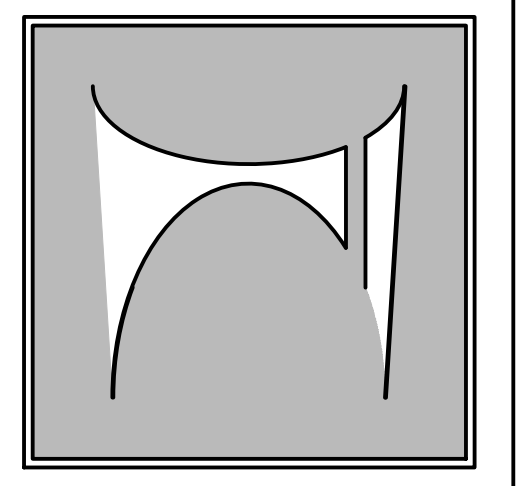


Second Floor Plan
Scale: 1/8" = 1'-0"

Floor Plan Legend

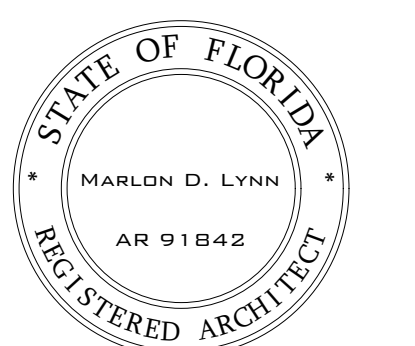
	Existing exterior wall
	Existing stud wall
	New exterior wall
	New interior stud wall
	Brick facade
	Toilet partition
	New door marker
	New window marker
	Existing door
	Existing window
	Existing to remain
	Fence

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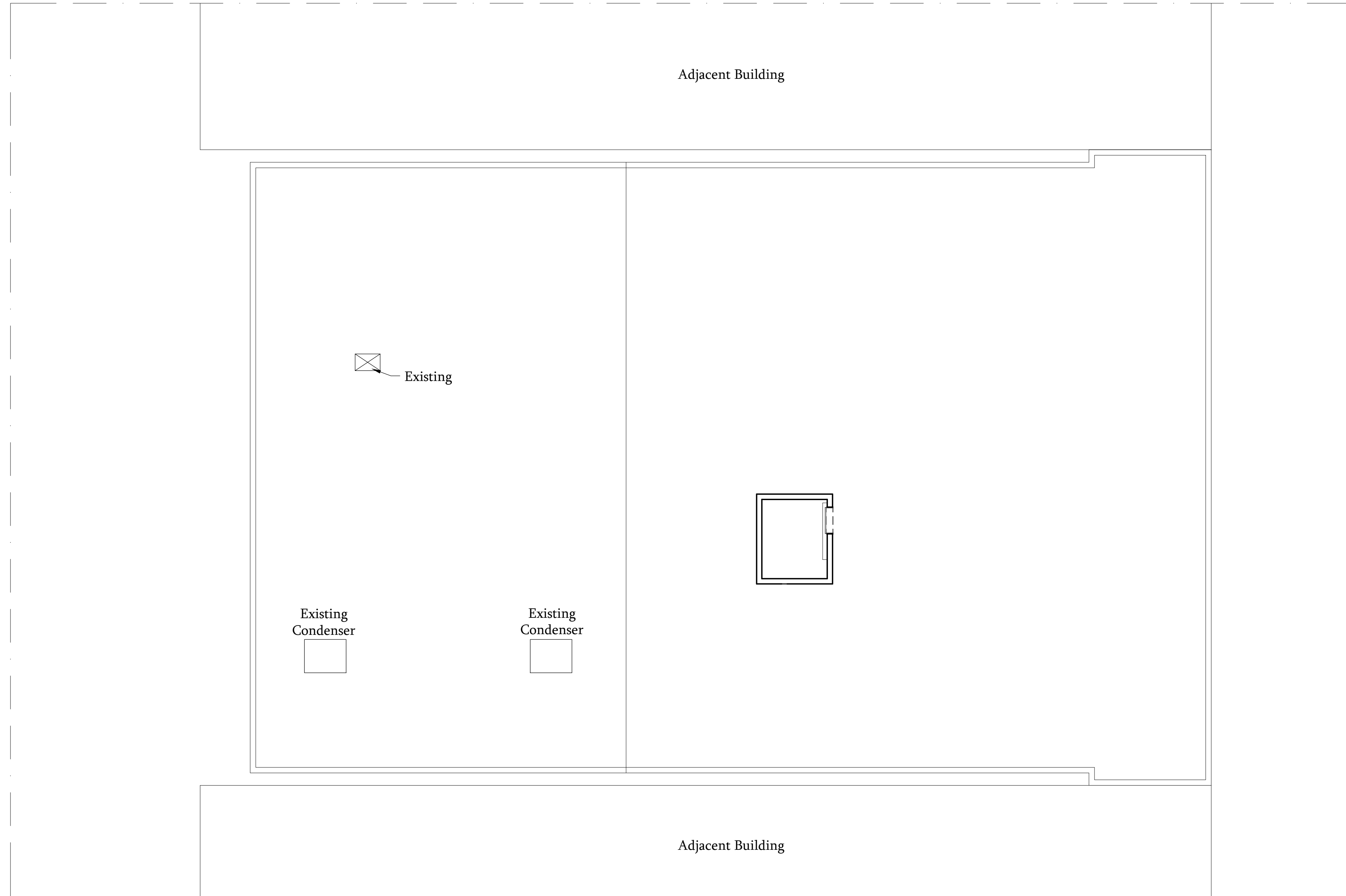
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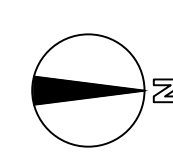
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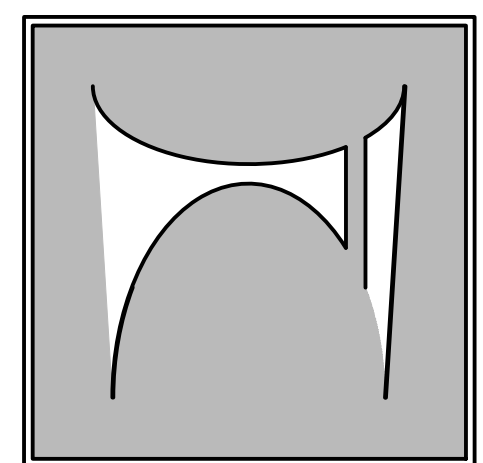
Floor Plan

A1.11



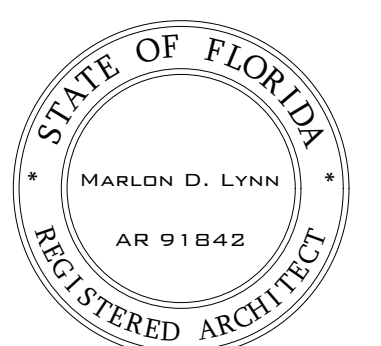
 **Roof Plan**
Scale: 1/8" = 1'-0"

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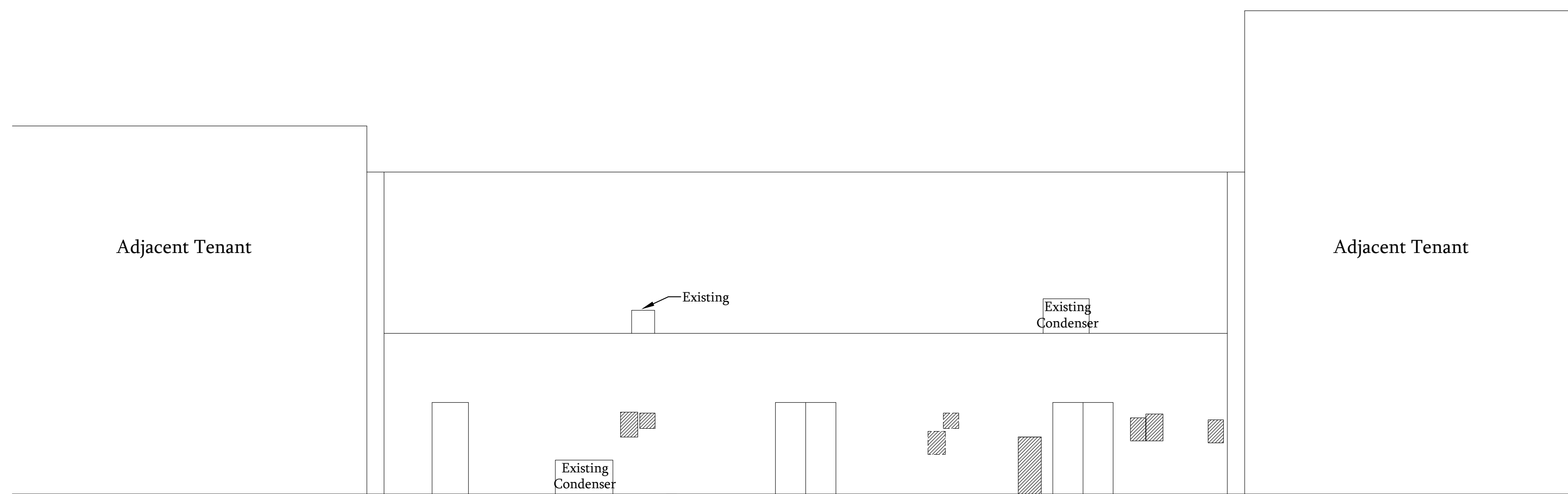
Roof Plan

A1.21

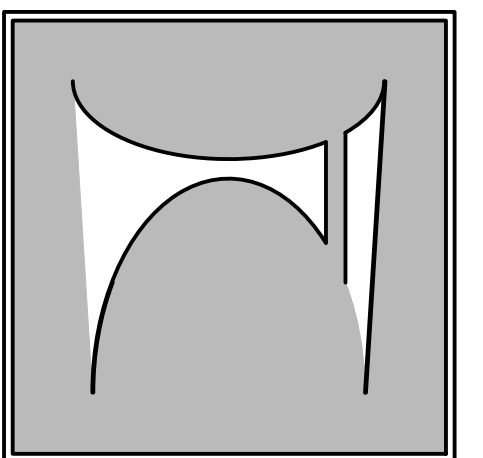
North Elevation
Scale: 1/8" = 1'-0"



South Elevation
Scale: 1/8" = 1'-0"

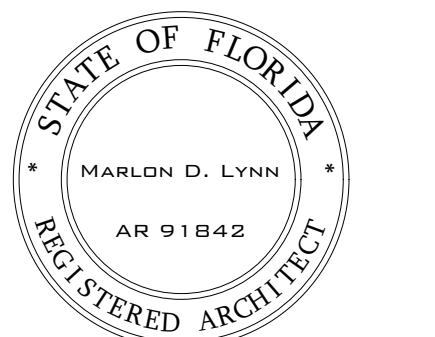


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Building Elevation

A2.11