

LAKELAND CRA

COMMUNITY REDEVELOPMENT AGENCY

AGENDA

Community Redevelopment Area Advisory Board

Thursday, November 1, 2018 | 3:00 PM – 5:00 PM
City Commission Conference Room, City Hall

A. Financial Update & Project Tracker*

B. Housekeeping

C. Action Items

1. Old Business
 - 1.1 Meeting Minutes dated October 4, 2018 (Pg. 4-7)
2. New Business
 - 2.1 Union Hall – 1032 S Florida Ave (Pg. 8-17)

D. Discussion Items

1. Update- Redfish Lease Negotiations

E. Adjourn

* For Information

NEXT REGULAR MEETING:

Thursday, December 6, 2018 3:00 - 5:00 PM – City Commission Conference Room

LAKELAND CRA

COMMUNITY REDEVELOPMENT AGENCY

PROJECT PROGRESSION REPORT



STATUS KEY	
	RISKS / ROADBLOCKS
	POTENTIAL RISKS
	ON TRACK

Project	Status	Phase	Funding Allocated	Notes
Food Truck Park	ON TRACK	Lease Agreement	\$250,000	Lease Negotiations
Lincoln Square	ON TRACK	Construction	\$4,268,086	Phase I Closings Pending
114 E. Parker	POTENTIAL RISKS	Lease Agreement	\$350,000	Pending Renovation Estimate Update and Lease Agreement
Lake Parker Art Path	POTENTIAL RISKS	Pre-Bid	TBD	Utility Errors and scheduling conflicts with PCSB
Five Points Roundabout	ON TRACK	Pre-Construction	TBD	
Kettles Ave Sidewalk	ON TRACK	Construction	150,000	
Tapatios	ON TRACK	Construction	\$340,000	Mid- October Start
Mirrorton	ON TRACK	Under Contract	\$900,000	Projected Closing March 2019
Small Area Study	ON TRACK	Research		
Second Floor Activation	ON TRACK	Research		

LAKELAND CRA

COMMUNITY REDEVELOPMENT AGENCY

PROGRAM PROGRESSION REPORT



STATUS KEY
RISKS / ROADBLOCKS
POTENTIAL RISKS
ON TRACK

Grants/Programs	Status	Grant Awards to Date	Notes
Alley Vacating	ON TRACK	2	
Affordable Housing Partnerships	ON TRACK	1	LHA/HTG \$426,000 for 320 Units at Twin Lakes Estates. Anticipated Completion 2021
Builder's Line of Credit	ON TRACK	0	1 Pending
Design Assistance	ON TRACK	4	Active Sites • 711 N. Kentucky • 938 E. Main Street • 1212 E. Main Street • 905 E. Rose Street
Down Payment Assistance	ON TRACK	0	6 Pending
Façade and Site	ON TRACK	2	
Fix-It Up	ON TRACK	8	Active Sites • 724 Buena Vista St. • 618 Julius T Horney Dr • 1200 Lake Parker Dr • 711 Tropical Way
Food Related	ON TRACK	0	
Infill- New Construction	ON TRACK	0	6 Proposals Pending
Infill Adaptive Reuse	ON TRACK	3	
Murals / Tapestries	ON TRACK	1	Murals set to be completed by January 2019 Tapestry Installations November 2018
Rehab/ Renovations	ON TRACK	0	Bid (724 8th St.)

**Community Redevelopment Area Advisory Board
Meeting Minutes
Thursday, October 4th, 2018
3:00 – 5:00 PM
City Commission Conference Room, City Hall**

Attendance

Board Members: Ben Mundy (Chair), Harry Bryant, Brian Goding, Frank Lansford, Commissioner Stephanie Madden and Cliff Wiley

Absent: Pastor Edward Lake (Vice-Chair), Zelda Abram, Dean Boring and Brandon Eady

Staff: Alis Drumgo, Valerie Ferrell, Michael Smith, D'Ariel Reed, and Jonathan Rodriguez

Guests: Officer Bailey (LPD), Joel and Jennifer Batts (Rayback Team), Wesley Beck (BKFive, LLC), Annie Gibson (Housing Programs Supervisor), Edward Jennings, Craig Morby (Rayback Team), Matt Patrick (Rayback Team), Benjamin Stevenson (LHA) and Julie Townsend (LDDA)

Participated via Conference Call: Michael Blasco (Tampa Bay Food Truck Park)

Packets

- Meeting Minutes dated September 6th, 2018
- Project Progression Report
- Memo- 802 N Massachusetts Ave – Food Truck Park
- Memo- Tax Increment Financing Request – property located at 632 E. Main Street
- Memo- Tax Increment Financing Request – property located at 225 E. Lemon Street
- Memo- Affordable Housing Partnership—Twin Lakes Phase III

Housekeeping

Action Items – Old Business

Meeting Minutes dated July 12th, 2018

Brian Goding moved approval of the minutes. Cliff Wiley seconded the motion which passed unanimously.

802 N. Massachusetts Ave – Food Truck Park

In November 2017, the CRA Advisory Board approved the use of 802 N. Massachusetts Avenue as a food truck park, and in April 2018, the Board motioned for approval of a construction budget of \$400,000 with 10% contingency. A second motion approved partnership with Tampa Bay Food Truck Rally (TBFTR) provided a lease agreement. In May, Staff presented an initial draft lease to TBFTR. After a lull, Staff then met with TBFTR in August to discuss revisions by TBFTR's attorney. Revisions were sent back to TBFTR on 8/14, and in last communication on 8/22, TBFTR indicated the lease was still under review.

Valerie Ferrell notified the Board of Michael Blasco's attendance via conference call.

Project Redfish

The Project Redfish Team includes a group of Lakeland natives and a successful entrepreneur located in Boulder, Colorado. The Team has a history of merging food trucks, craft beer and events in a family friendly environment. The Rayback Collective, in Boulder, is grossing approximately \$100k a month since opening in 2016.

Their Team is seeking an opportunity to bring their experience to Lakeland and see Midtown as a chance to provide a unique experience that is in line with the CRA's plan for a food truck park at 802 N. Massachusetts Avenue. Their proposed layout will have no impact on the parking plans previously established, and the Redfish Team is infusing \$150,000 of private capital into the project as a part of the deal towards the buildout.

With slight modifications to the site and building layout, their Team is seeking the following:

- 2,600 SF building with roughly the same footprint as planned
- \$240,000 from the CRA
- 3-year lease term with renewal option after expiration
 - Payments starting after 6 months @ \$9/SF Triple Net
 - Agreed increases for years 2 and 3
 - Option to purchase at any time at Fair Market Value of unimproved property (lease payments deducted from sale price)

Staff provided this proposal as due diligence as well as the opportunity for tenant reconsideration.

The Project Redfish Team gave a brief presentation.

Discussion ensued regarding the details of TBFTR's proposal in comparison to the Project Redfish Team.

Cory Petcoff moved to cease lease negotiations with TBFTR and begin lease negotiations with the Project Redfish Team with a deadline of the November Board meeting. Frank Lansford seconded the motion which carried unanimously.

Action Items – New Business

Tax Increment Financing Request – property located at 632 E. Main Street

Lake Mirror Holdings LLC has submitted a request for Tax Increment Financing for property the entity owns at 626 & 632 E. Main Street. Plans include new construction, and site improvements to the properties. The finished proposed project will be a multi-tenant, three story office totaling 16,770 SF.

The Developer is proposing a new construction of 16,770 SF of office space to be condominiumized with the lower level dedicated to parking. The office space will consist of five (5) separate units. The current assessed value of the properties is \$146,166 and improvements are estimated to be \$3.4 million. Based on this information, the renovation/improvement clearly exceeds the required 50% investment above the current assessed value as stipulated in the TIF program criteria.

This site is currently underutilized and the improvement will increase the pedestrian traffic in the area. The project provides a vital link back towards the downtown core and supports the growth of the east side of downtown. Construction is scheduled to begin in October 2018 with completion anticipated for June 2019.

Staff recommends this project for approval.

Cory Petcoff moved approval of Staff's recommendation with a caveat on the transfer of TIF to the five (5) initial condominium owners. Frank Lansford seconded the motion which passed unanimously.

Tax Increment Financing Request – property located at 225 E. Lemon Street

BKP Five LLC has submitted a request for Tax Increment Financing for property the entity owns at 225 E. Lemon Street. Plans include new construction, and site improvements to the property. The finished proposed project will be three story office totaling 39,765 SF.

The existing site consists of two parcels which total 65,468 SF of land. Currently, the land is utilized as parking for office users at Heritage Plaza.

The Developer is proposing a new construction of 39,765 SF of office space to be built out in the future once users are determined. The office space will comprise approximately 14% of the vacant property with the remainder to be utilized for a multistory parking garage for use by the public and private businesses. Initial investment will total an estimated \$3.9 million to construct a shell. However, an additional \$2 million will be invested later to build out office spaces for users bringing the total investment to an estimated \$5.9 million.

The project provides the first new, multi-tenant, office space built downtown in the last twenty (20) years and supports the growth of the south side of downtown. Construction is scheduled to begin in November 2018 with completion anticipated for August 2019.

Staff recommends this project for approval.

Cory Petooff moved approval of Staff's recommendation. Cliff Wiley seconded the motion which passed unanimously.

Affordable Housing Partnership—Twin Lakes Phase III

The Florida Housing Finance Corporation modified submittal requirements that allowed for local governments to partner with developers to expedite affordable housing projects. Currently, Housing Trust Group (HTG) is the co-developer of the site that once housed the West Lake Apartments. Phase I, a senior housing development, is currently under construction, and HTG is working diligently with the Housing Authority to fund Phases II and III. HTG and the Housing Authority are seeking a \$426k or 2.7% of the investment to support Phase III of the project comprising 77,142 SF, 86 units with rents ranging between 40%-60 AMI (\$402-\$835).

In an effort to address the City's homelessness and affordable housing needs, Staff views this as an opportunity to contribute to a project that will provide new housing in Midtown and leverage funds in a method that costs the CRA less than \$5,000 per unit. The return on investment would be approximately 36:1 for CRA dollars contributed.

Staff is recommending approval of \$426,000 to support the development of Twin Lakes Phase III with \$200,000 to be budgeted in FY 2020 and \$226,000 in FY 2021, provided the developer and Housing Authority commit to providing the following to help Lakeland and the CRA meet its long-term needs to mitigate the impacts of homelessness:

- Of the 86 units, 20% be allocated to some of Lakeland's most chronic issues
 - 15% or 13 units be allocated towards supporting "Chronically homeless families with school age children" as identified by the Polk County School Board's Homeless Liaison
 - These units should be set at 50% AMI or less
 - 5% or 4 units be allocated towards Permanent Supportive Housing intended for chronically homeless persons with significant needs

The funds would be disbursed at the issuance of certificate of occupancy, and the Housing Authority would be responsible for providing annual documentation showing the continued compliance with the terms of the funding.

Cory Petcoff moved approval of Staff's recommendation. Brian Goding seconded the motion which passed unanimously.

Discussion Items

Alis provided an update on Lakeland Brewing Company's proposal to develop a food hall concept. In June of 2018 the Board motioned to negotiate a short term lease and buildout of Lakeland Brewing Co. not to exceed \$250,000. Jon Bucklew and Wesley Beck have since entered into a land lease and are working on the buildout of the site as well as securing tenants. Updates will be provided as plans and/or renderings are received.

Adjourned at 4:10PM

Next Meeting, Thursday, November 1, 2018, 3 PM, City Commission Conference Room.

Ben Mundy, Chairman

Date

DRAFT

Memo

To: CRA Advisory Board
From: Valerie Ferrell, CRA Project Manager
CC: Alis Drumgo, Interim CRA Manager
Date: October 26, 2018
Re: Union Hall – 1023 S Florida Ave.

The building which housed the former Truly Nolen business at 1023 S Florida Avenue in Dixieland is situated in a prime location, at the corner of South Florida Avenue and Hunter Street. It also sits adjacent to the Dixieland Mall and recently renovated Lean Spaces, a co-work and collaborative office. Lean Spaces is the completed renovation of the Old Vito's Restaurant at 1021 S Florida Ave, and the successful idea from partners Sam Houghton and Peter Maris. Now as property owners of both buildings, Mr. Houghton and Mr. Maris have aligned again for the new live performance venue that will be known as Union Hall.

The concept behind Union Hall is to provide a small entertainment venue that provides a truly unique live music experience. Lakeland musician Dan Signor has leased the space and will manage booking local and regional acts. In addition to entertainment, local food truck Meatballs & More will be staged in the courtyard to offer their culinary dishes for lunch and dinner. The vision is to provide a space that can host family game nights, live music, or dinner and a show seamlessly.

In January 2018, the CRA provided design assistance with renderings produced by Jon Kirk, KCMH, that later fueled the interior design concept. The scope of work includes comprehensive demolition of the interior space, which has already been completed. The remaining improvements include new electrical, HVAC, ADA-accessible restrooms, new entrances at the side and rear of the building, a walk-in cooler as well as façade improvements on the South Florida frontage and Hunter Street frontage. The entire courtyard is also a major investment providing a much-needed outdoor space adjacent to both Lean Spaces and the Union Hall guests. The incurred costs and planned expenses to finish the construction is estimated at \$600,000. The completed renovations at Lean Spaces exceeded \$400,000 so the total investment in Dixieland is approximately \$1 million.

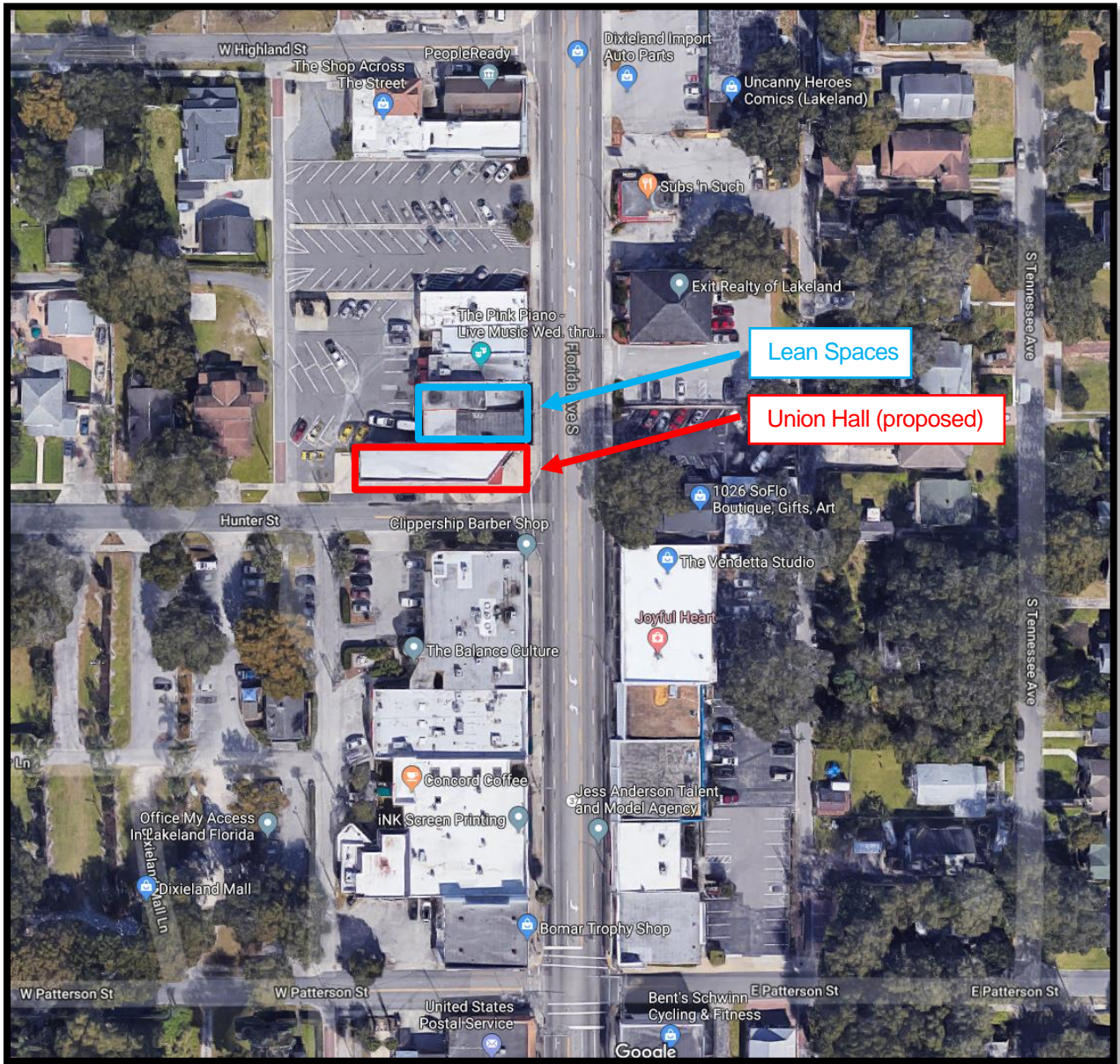
The project qualifies for the following incentives within the Dixieland CRA and the applicant is requesting additional funding per category:

Incentive	Administrative Limit	Applicant Request
Façade & Site (exterior building improvements for each street frontage)	\$30,000	\$60,000
Infill (system upgrades including electrical, HVAC, plumbing and ADA-accessibility)	\$15,000	\$15,000
Food-related (grease trap, plumbing, walk-in cooler)	\$15,000	\$15,000
	\$60,000	\$90,000

The site has previously received Design Assistance before it became Truly Nolen in 2009. No other incentives have been awarded at this location.

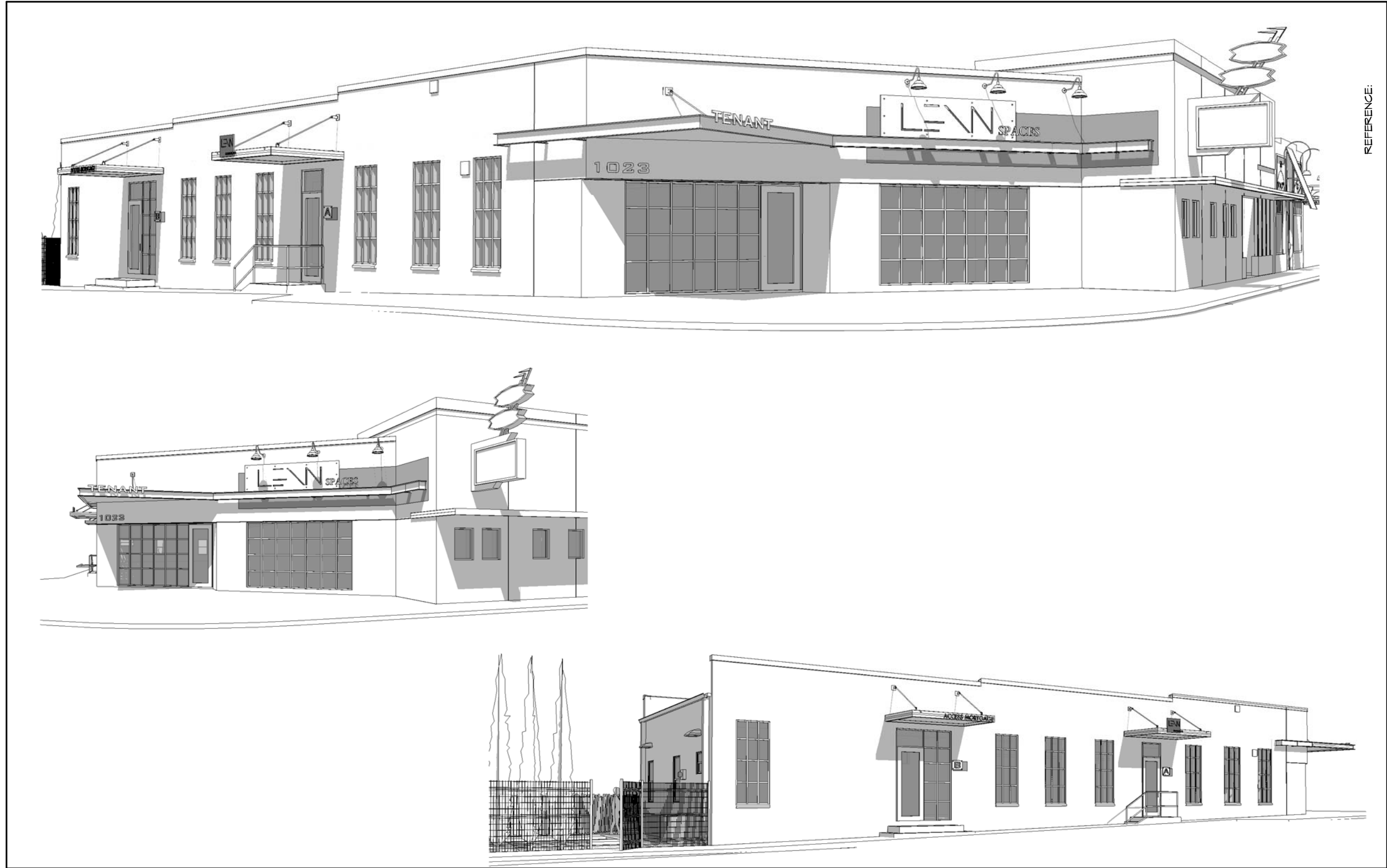
The applicant is seeking a total grant award of \$90,000. The improvements are consistent with the Dixieland Redevelopment Plan by contributing to the physical, economic and social well-being of the area and attracting food-related service providers, restaurateurs and specialty food providers. The addition of Union Hall is sure to be a valuable asset to the growing cultural hub in Dixieland.

**1023 S Florida Avenue
Dixieland CRA**



Union Hall
Inspiration and Design Ideas



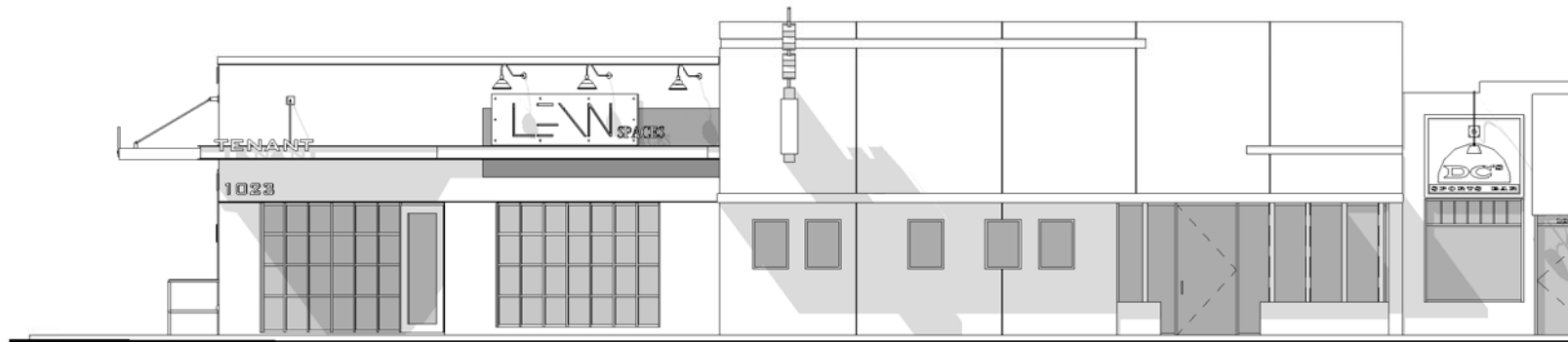


REFERENCE:

12/01/17

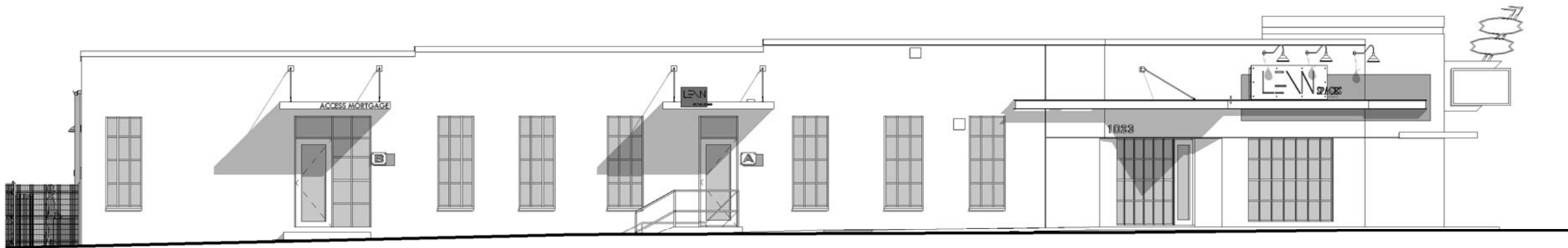
SUPPLEMENTAL DRAWING: SK3

ASI NO. Untamed



EAST ELEVATION

1" = 10'-0"



SOUTH ELEVATION

1" = 10'-0"

REFERENCE:

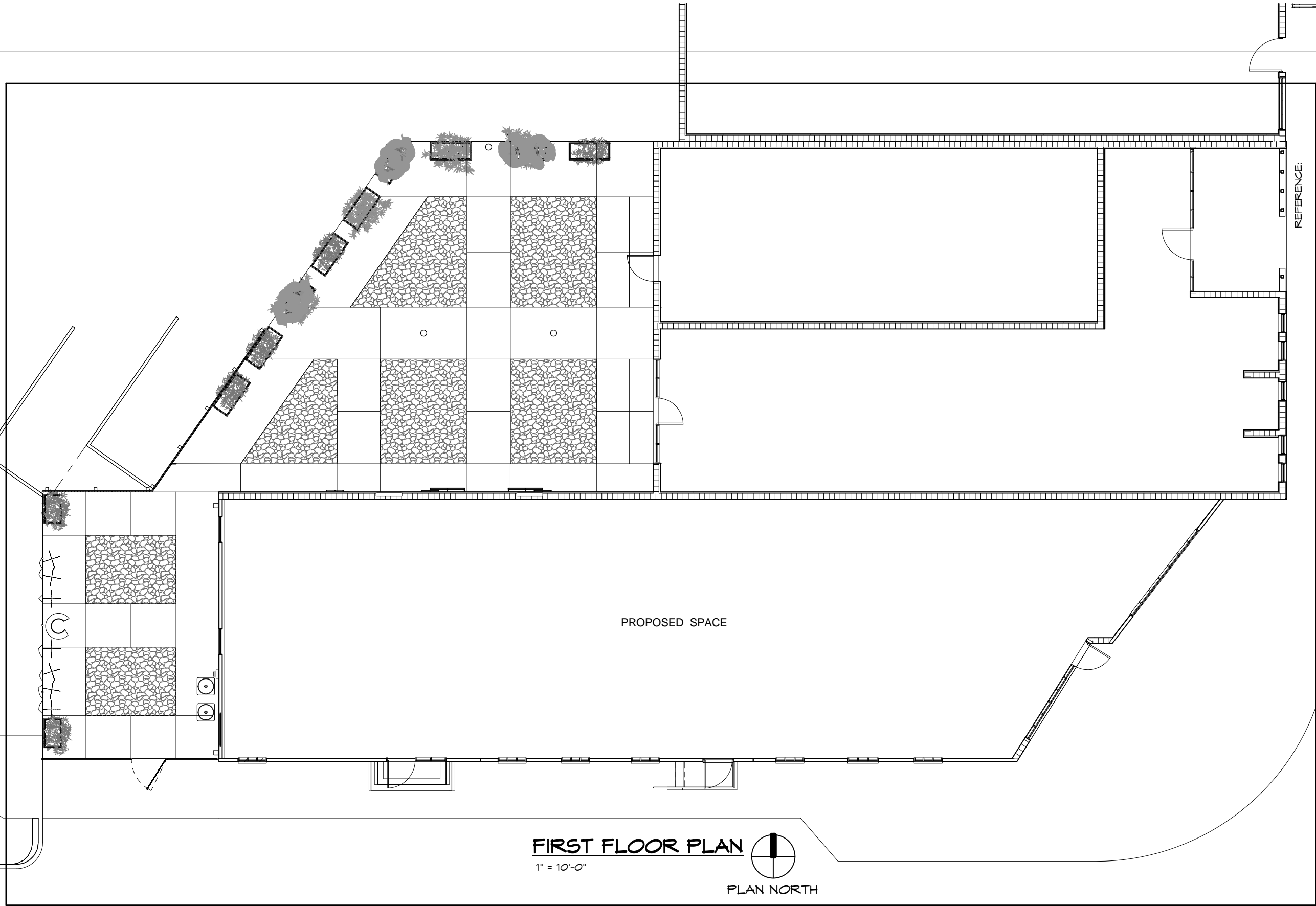
12/01/17

SUPPLEMENTAL DRAWING: SK4

ASI NO. Untamed

ARCHITECTS
17045

KCMH



12/13/17

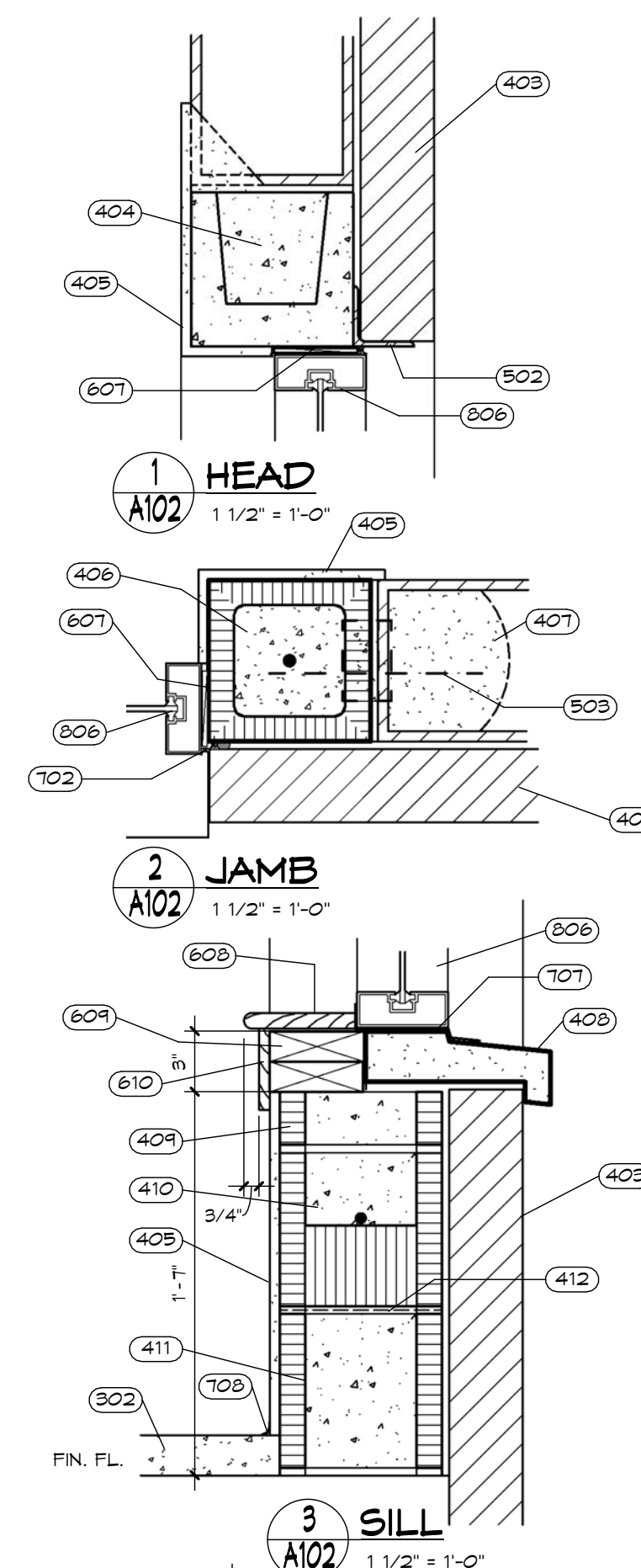
SUPPLEMENTAL DRAWING: SK6

ASI NO. Untamed

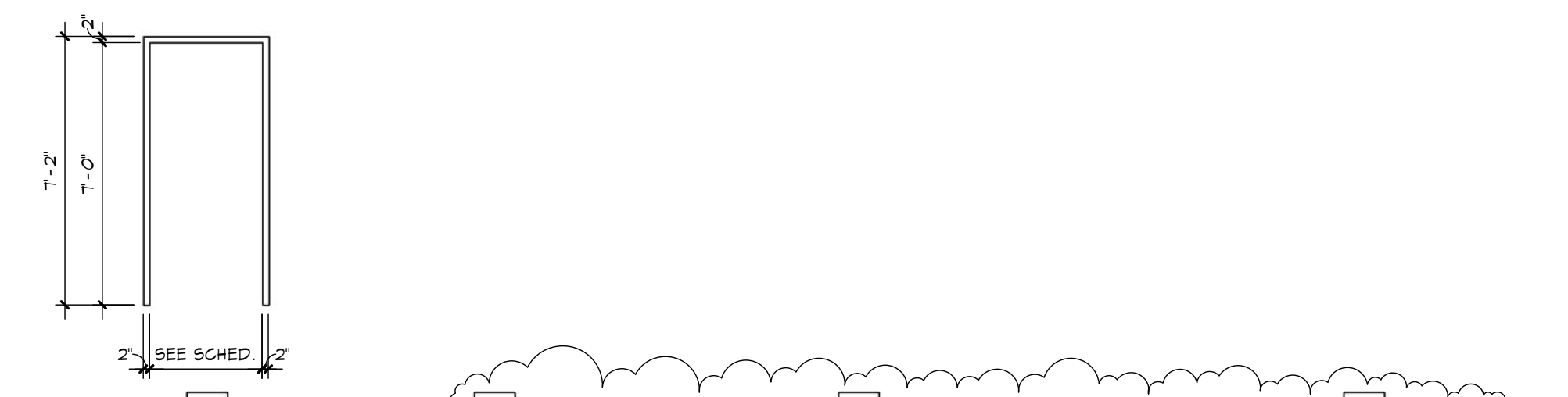
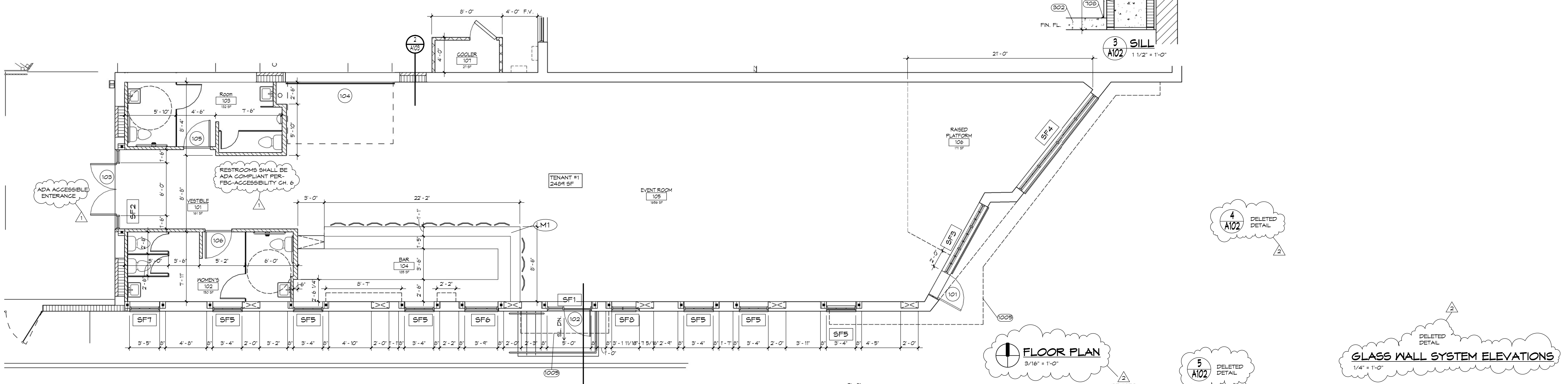
ROOM FINISH SCHEDULE									
RMP	SPACE	FLOOR	BASE	WALLS	CEILING	REMARKS			
		POLISHED CONC.		EXISTING MASONRY	EXISTING MASONRY	(1) XXXX			
101	VESTIBLE	X	X	X	X				
102	WOMEN'S RESTROOM	X	X	X	X				
103	MEN'S RESTROOM	X	X	X	X				
104	BAR	X	X	X	X				
105	EVENT ROOM	X	X	X	X				
106	RAISED PLATFORM	X	X	X	X				

DOOR SCHEDULE										
DOOR No.	EXT.	NT.	FRAME MAT.	HWDR TYPE	UL-RD No.	DOOR FRAME TYPE	GLASS MAT.	HT.	TH.	REMARKS
101	X		AL	SF	1	1	SF	84	36	1-3/4"
102	X		AL	SF	1	1	SF	84	36	1-3/4"
103	X		AL	SF	1	1	SF	84	36	1-3/4"
104	X		AL	F1	2	1	FG	84	36	1-3/4"
105	X		HM	F3	2	1	FG	84	36	1-3/4"
106	X		HM	F2	3	1	FG	84	36	1-3/4"

DOOR HARDWARE SCHEDULE						
GROUP	QUANTITY	ITEM (ABBREVIATIONS)	MANUFACTURER CATALOG No.	SIZE/REMARKS	LABEL	FINISH
1 EXTERIOR - STOREFRONT SINGLE DOOR						
1	3	OFFSET PIVOTS	KAWNEER	TOP/BOTTOM/CENTER		630
1	1	CLOSER	LCA			
1	1	TH	2025 Q 5	ADA COMPLIANT		
1	1	WS	SEAL AIR	KV SKEEP		
1	1	CYLINDER				
1	1	EXIT DEVICES	PANELINE	Coordinate with Tenant access control system Stanley Best Wi-Q Door 103 only.		
2 INTERIOR - OFFICE						
3	3	H	BB 1191	4.5 x 4.5		630
1	1	LS	SGH ND94PD			626
1	1	ST	IVES W6409CGV	@ DOORS 109 & 113		
1	1	GL	4041	@ DOOR 114		
3 INTERIOR - TENANT						
3	3	H	BB 1191	4.5 x 4.5		
1	1	LS	SGH ND94PD			
1	1	O/H	IVES 90H O/H HOLD /STOP			
1	1	ST	IVES W6409CGV			
4 INTERIOR - RESTROOM						
3	3	H	BB 1191	4.5 x 4.5		630
1	1	LS	SGH ND94PD			626
1	1	O/H	IVES 90S O/H STOP			630
5 INTERIOR - STOREROOM						
3	3	H	BB 1191	4.5 x 4.5		630
1	1	LS	SGH ND94PD			
1	1	WS	IVES W6409CGV	@ DOORS 109 & 112		
1	1	ST				

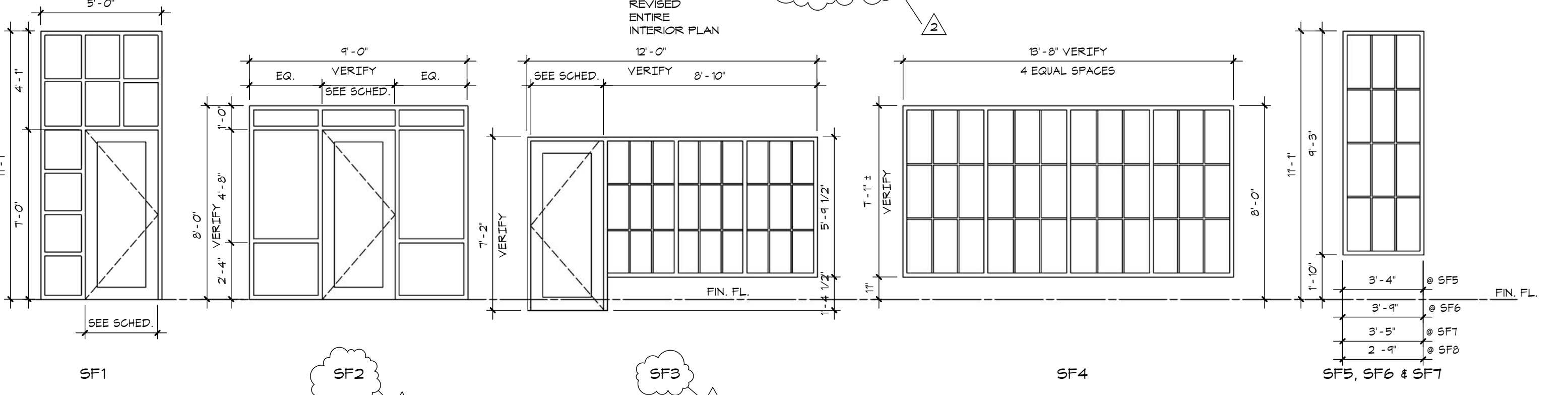


- A102 Sheet Notes / Numbers May Not Be Consecutive.
- 302 New 2 in. v-1 thick poured concrete topping. Standard polish finish per owner requirements.
 - 402 Existing brick masonry wall to remain.
 - 404 Precast concrete lintel. Fill with grout.
 - 405 1/2 in. thick stucco. Light sand finish and paint.
 - 406 6x6x6 CMU. Reinforce with 1-#5 diameter continuous from slab to lintel above. Fill solid with grout.
 - 407 Allow grout to fill hollow clay tile block at each course.
 - 408 Precast concrete sill. Paint finish.
 - 409 Cut 6 in. CMU to fit. Fill solid with grout.
 - 410 6x6x6 knockout CMU lintel. Reinforce with 1-#5 diameter continuous. Fill solid with grout.
 - 411 6x6x6 CMU. Fill solid with grout.
 - 412 Galvanized horizontal joint reinforcement.
 - 502 3 in. x 3 in. x 3/8 in. steel angle. Extend minimum 6 in. each side of opening.
 - 503 1-#5 diameter rebar at each CMU course.
 - 607 Shim per manufacturer's installation detail.
 - 608 5/8 in. thick wood still. Paint finish.
 - 609 P.T. 2x wood blocking.
 - 610 5/8 in. thick x 3 1/2 in. wood trim. Paint finish.
 - 611 2x4 wood studs, 16 in. o.c.
 - 612 Recycled pallet wood finish. Run horizontally.
 - 702 Rake existing expansion joint clean and re-caulk.
 - 707 .040 aluminum flashing. Uprun back and sides to form watertight pan. Finish to match storefront system.
 - 708 Caulk joint at new floor topping to exterior walls. Typical.
 - 805 Glass wall office system equal to C.R. Laurence Company; fixed glass butt glazed frameless system. See Elevations.
 - 806 Aluminum storefront window/ frame.
 - 912 Typical interior partition: 2x4 wood studs; 16 in. o.c. with 1/2 in. thick drywall both sides. Provide continuous top and P.T. bottom plate.
 - 1005 Aluminum canopy and fascia. See Details.
 - XXXX Legend Symbol.



DOOR ELEVATIONS
1/4" = 1'-0"

INTERIOR DOORS SHALL BE 1 3/4" THICK PREMIUM GRADE FLAIN SLICED WHITE MAPLE WITH O1 CLEAR FINISH, BOTH SIDES WITH HARDWOOD EDGES. AN 'FG-S ME' TYPE WITH SOLID PARTICLEBOARD CORE AND SOLID STOCK STILES. PROVIDE FIRE RATED DOORS WHERE INDICATED ON PLANS AND SCHEDULES.



STOREFRONT ELEVATIONS
1/4" = 1'-0"

NOTE: VERIFY ALL DIMENSIONS.
PROVIDE TEMPERED SAFETY GLASS PER FBC REQUIREMENTS

ALUMINUM STOREFRONT SYSTEM SHALL BE EQUAL TO KAWNEER TRIFAB V6 450 FRAMING SYSTEM WITH KAWNEER 350 MEDIUM STILE DOOR. 1 3/4" X 4 1/2" NOMINAL DIMENSIONS, CENTER PLANE. PROVIDE INSTALLATION FASTENERS AS REQUIRED. PROVIDE DOOR(S) WITH OFFSET HINGES, SURFACE MOUNTED CLOSERS, PUSH/PULL BARS, THRESHOLDS AND LOCKSET MASTER KEYED WITH BUILDING. LOCKSET TO HAVE THUMB TURN INSIDE AND KEYED OUTSIDE.

ALUMINUM COLOR SHALL BE DARK BRONZE FINISH. GLAZING SHALL BE 1/4" THICK GREY TINT.

ALL PRODUCTS INSTALLED IN THE BUILDING ENVELOPE SHALL HAVE PRODUCT APPROVAL NUMBER INDICATED ON THE SUBMITTAL AND CONFORM TO THE FLORIDA BUILDING CODE, LATEST EDITION.

- GENERAL NOTES - FRAMES/DOORS**
 A. INSTALL GLASS ON DOOR SIDE OF FRAME.
 B. FIXED 1/4" TEMPERED CLEAR GLASS AT TYPICAL INTERIOR GLAZING SET IN H5 GLAZING STOPS. CAULK ALL GLASS, FRAMES AND GLAZING STOPS.

DOOR FRAME ELEVATIONS
1/4" = 1'-0"

HOLLOW STEEL DOOR FRAMES SHALL BE 16 GA. MATERIAL. INTERIOR FRAMES SHALL WRAP AROUND DRYWALL PARTITIONS AND BE FULLY WELDED. PROVIDE ANCHORAGE APPROPRIATE TO FLOOR, WALL AND FRAME CONSTRUCTION IN ACCORDANCE WITH HMMA 520 & 561.

KIRK CURTIS MUNDY HUNNICUTT ASSOCIATES ARCHITECTS INC.
 1025 SOUTH FLORIDA AVE. | LAKELAND, FLORIDA | 33803-1118
 TELEPHONE 888.888.8888 | FAX 888.888.8888 | LICENSE NO. AC-000772 | kcmah.com

AR-201101
 C. KIRK CURTIS
 K. MUNDY
 H. HUNNICUTT
 FLOOR PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	06/25/16	
2	10/15/16	

CONSTRUCTION
06/04/2016

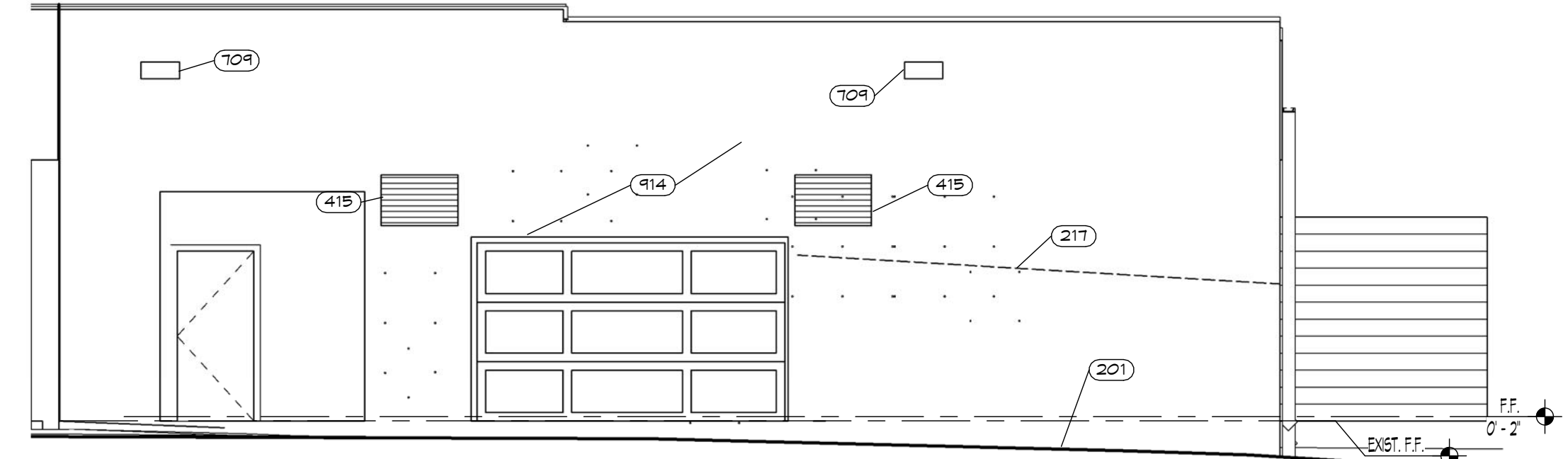
APPROVAL

REVIEW
10-3-2016

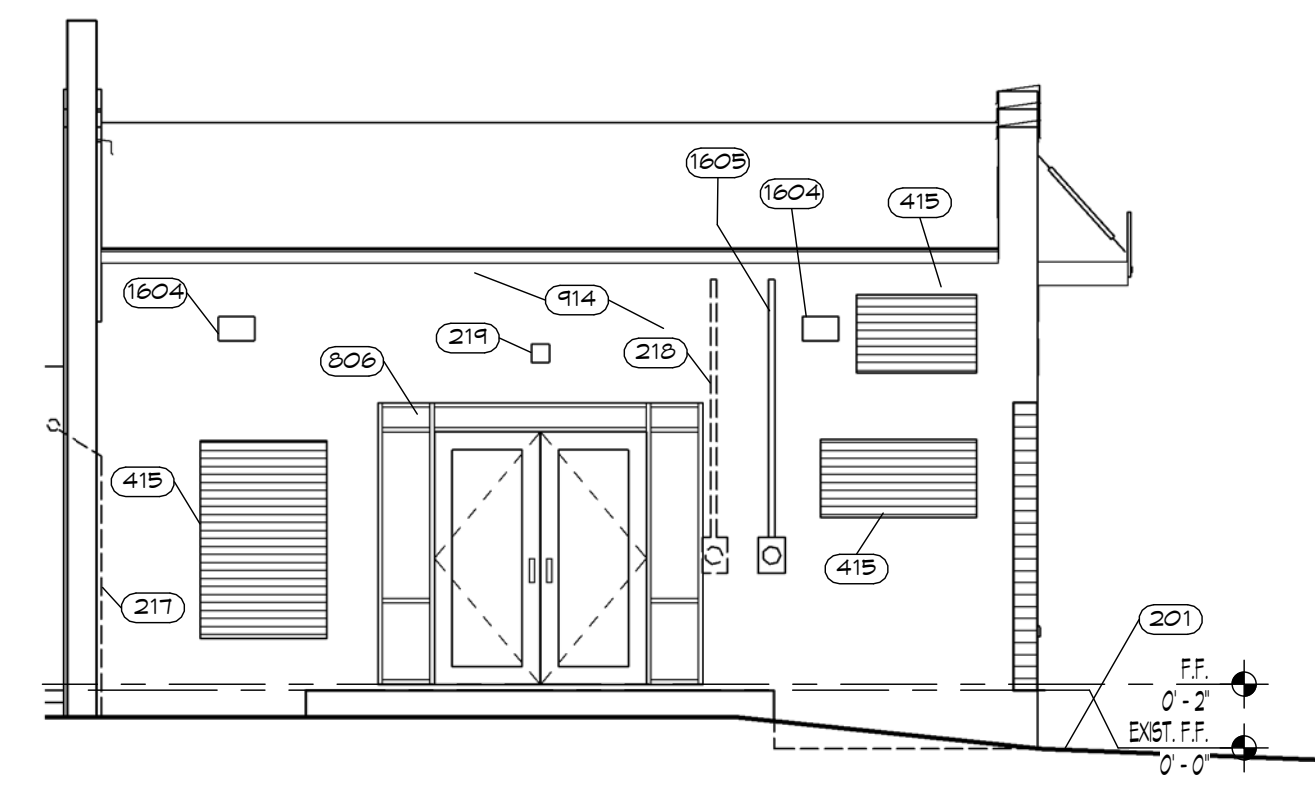
CHECKED BY

A102
17045

- 201 Existing Finish grade.
- 202 Remove existing door and trim.
- 204 Remove existing window.
- 217 Remove existing conduits/ piping and patch remaining holes.
- 218 Remove existing wall mounted equipment and patch remaining holes.
- 219 Remove existing electrical fixture and patch remaining holes.
- 301 Line of existing concrete floor slab.
- 302 New 2 in.-v- thick poured concrete topping. Standard polish finish per owner requirements.
- 303 Poured concrete stair.
- 415 Infill demo area with new masonry construction.
- 418 Remove existing brick pilaster materials as required to accept new precast concrete lintel. Min. 8 inch bearing.
- 419 Drill and epoxy new vertical rebar min. 6 inches into existing concrete slab. Typical all locations.
- 505 Metal hand/ guardrail. Paint.
- 604 Existing 2x wood joist.
- 605 Existing wood roof decking.
- 606 2x4 blocking between studs.
- 705 R-30 batt insulation - continuous at ceiling.
- 709 Seal existing attic vent.
- 806 Aluminum storefront window/ frame.
- 909 Vinyl base - continuous.
- 912 Typical interior partition: 2x4 wood studs; 16 in. o.c. with 1/2 in. thick drywall both sides. Provide continuous top and P.T. bottom plate.
- 914 New paint finish. Color as selected by Owner.
- 1005 Aluminum canopy and fascia. See Details.
- 1006 Wall mounted address numbers. Verify style and finish.
- 1007 Aluminum letters attached to aluminum awning system. Verify style and finish.
- 1008 Wall mounted signage by Owner.
- 1604 New exterior light fixture.
- 1605 Existing electric meter and weather head to remain.

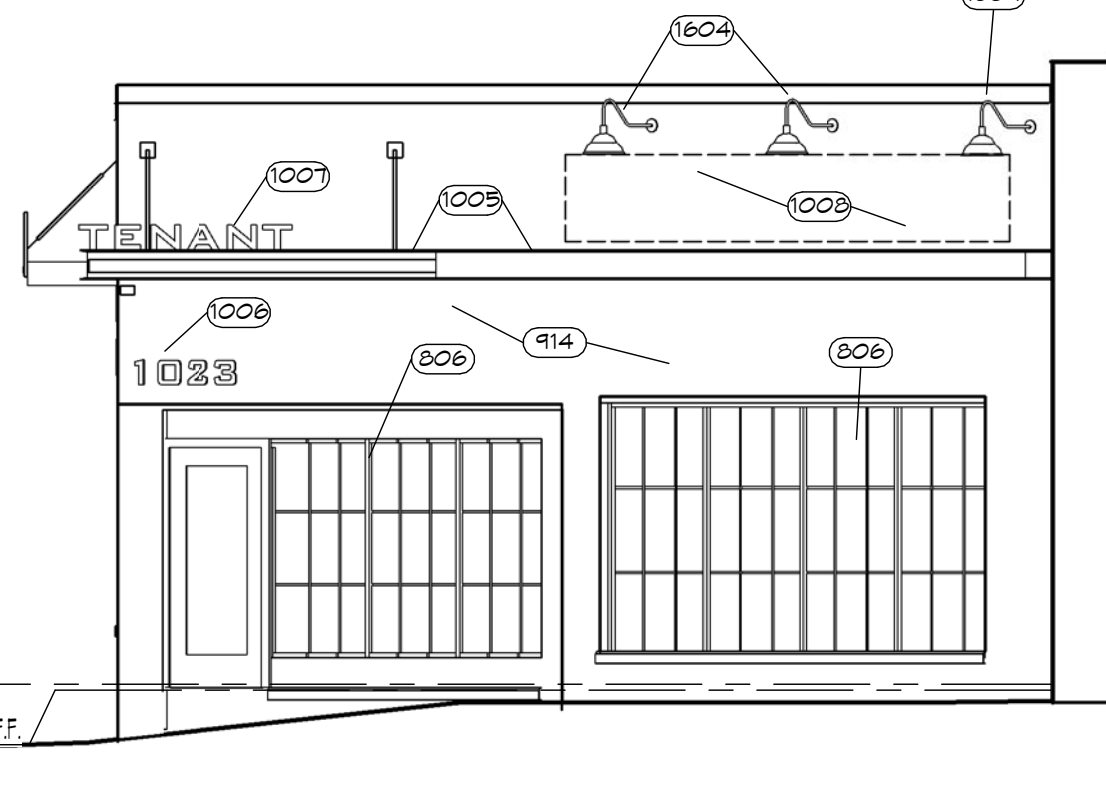


NORTH ELEVATION
3/16" = 1'-0"

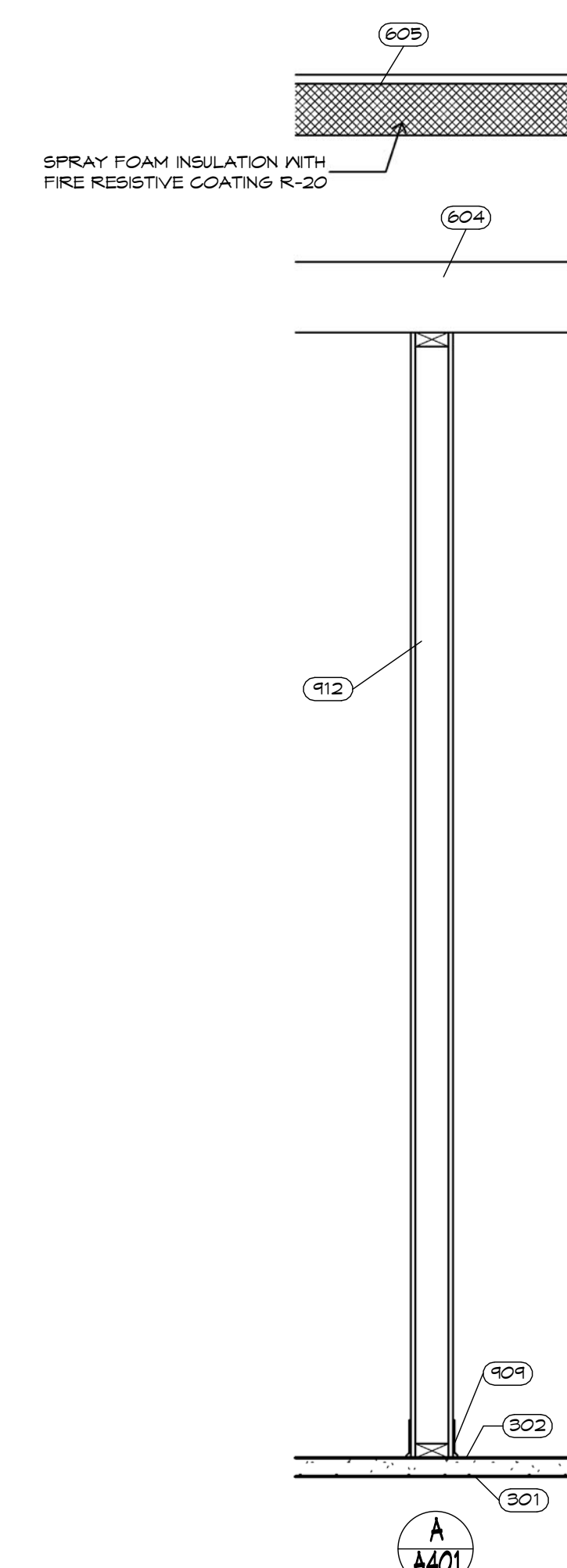


WEST ELEVATION
3/16" = 1'-0"

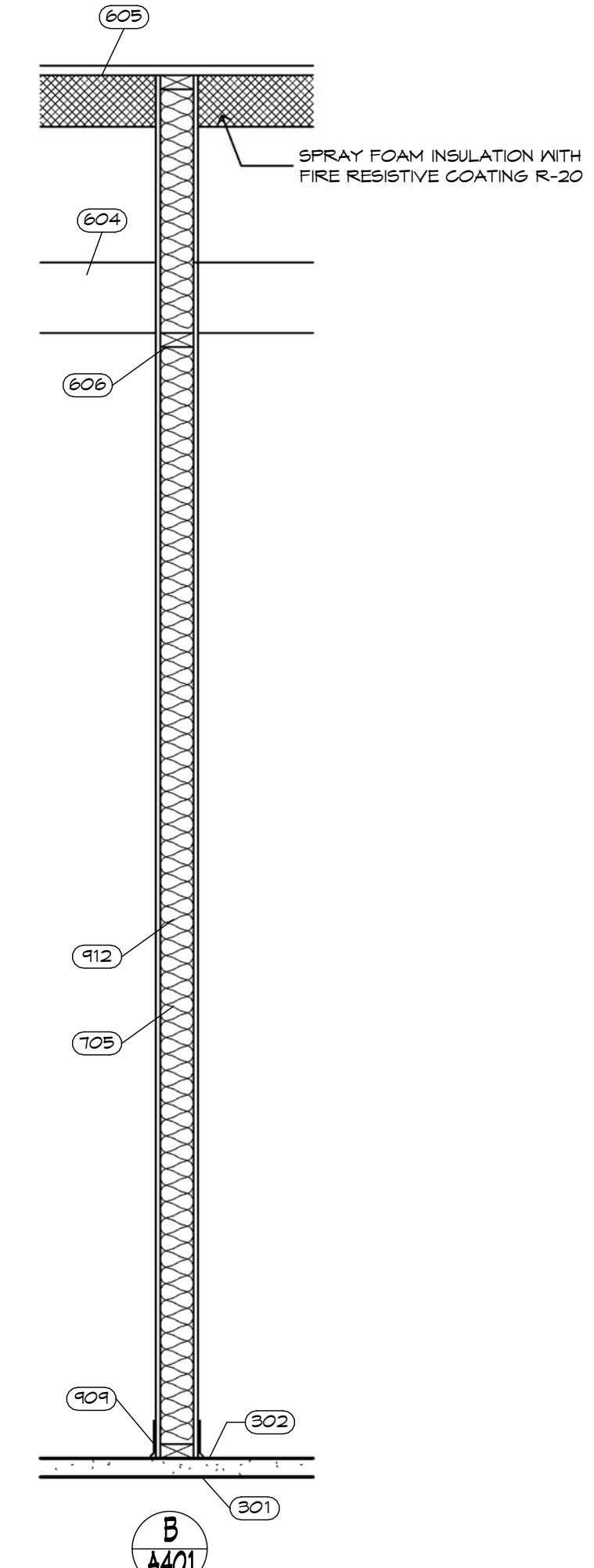
NOTE: REMOVE ALL ABANDONED CONDUITS / WIRES FROM EXTERIOR WALLS OF BUILDING. PATCH ALL HOLES IN EXTERIOR WALLS



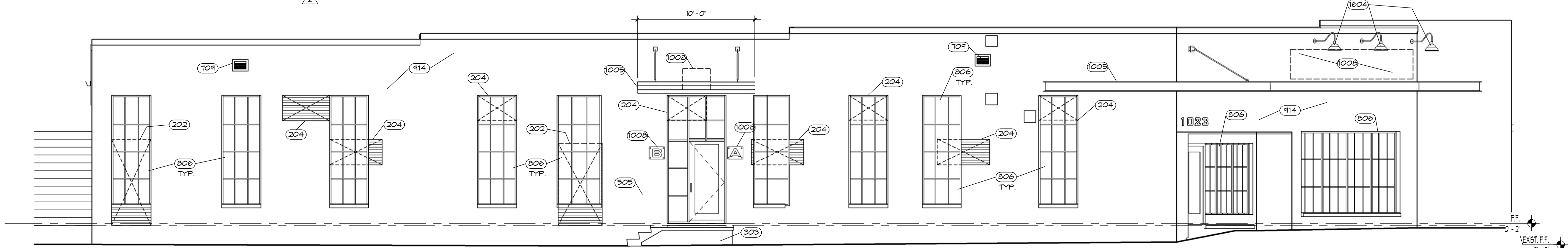
EAST ELEVATION
3/16" = 1'-0"



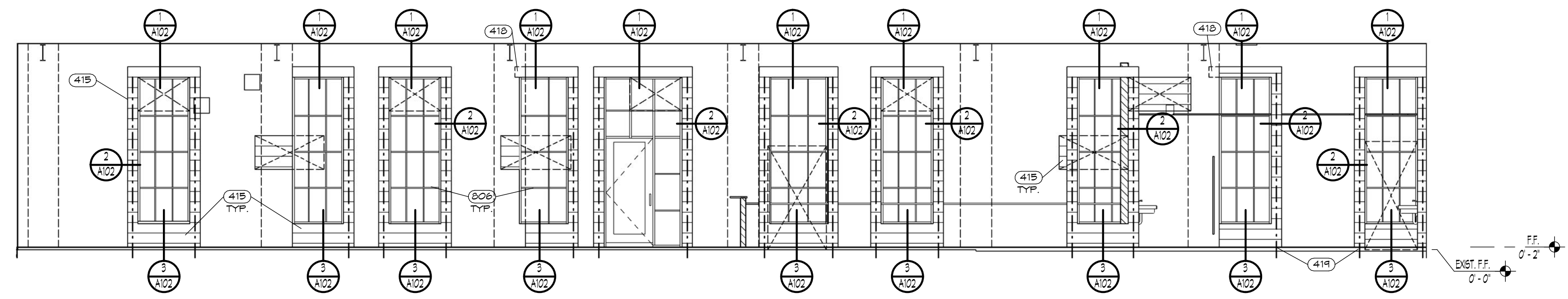
A A401
SCALE: 3/4" = 1'-0"



B B401
SCALE: 3/4" = 1'-0"



SOUTH ELEVATION
3/16" = 1'-0"



INTERIOR ELEVATION - SOUTH WALL
3/16" = 1'-0"

NOTE: AT ALL WINDOWS AND DOORS AT EXTERIOR WALLS. PROVIDE 1/2" THICK STUCCO FINISH X 8 INCHES WIDE AT HEAD AND JAMB. PROVIDE SAME STUCCO FINISH FROM SILL TO FLOOR.



KIRK CURTIS MUNDY HUNNICUTT ASSOCIATES ARCHITECTS INC.
1023 SOUTH FLORIDA AVENUE | LAKELAND, FLORIDA | 33803-1118
TELEPHONE 883.888.888 | FAX 883.888.881 | LICENSE NO. AC-030072 | kcmh.com
C. KETH HUNNICUTT
N.E.L.G. HELBY, AIA, LEED AP

AR-02/11/01
SCALE: 3/16" = 1'-0"

RENOVATION LEAN 2 SPACES
1023 SOUTH FLORIDA AVE.
LAKELAND, FLORIDA
EXTERIOR ELEVATIONS

REVISIONS	DATE
2	10/15/18

CONSTRUCTION 06/04/2018
APPROVAL
REVIEW 10-3-2018
CHECKED BY

A401
17045